

City of Delta
Community Development



BUILDING PROCEDURES

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CITY OF DELTA DESIGN STANDARDS

Snow Load	Wind Design		Seismic Design Category	Subject to Damage From			Winter Design Temp	Ice barrier Underlayment Required	Flood Hazard	Air Freezing Index	Mean AnnualTemp
	Speed (V)	Topographic effects		Weathering	Frost Line Depth	Termite					
30psf	115	No	B	Severe	18 in.	Slight to Moderate	6° F	N O	8/19/10	1000	50°F

CONCRETE

FOOTER STEM WALL FOUNDATION

- Show end view of footer showing size and placement of all rebar.
- Show width and depth of both footer and stem wall.
- Show depth of footer and stem wall in relation to final grade.
- Show or specify how footer and stem wall are to be tied together.
- Show and specify placement and size of anchor bolts.
- Show and specify support for rock, brick, etc.

Note: If City minimum specified footer stem wall foundation is to be used, please include appropriate foundation drawing from pages 9-12 with your plans.

MONOLITHIC FOUNDATION

- Show depth of footer portion in relation to final grade.
- Show end view of pour specifying size and location of all rebar and wire mesh or fiber mesh.
- Show width of footer portion of pour.
- Show depth of slab portion of pour.
- Show support for ledge for rock, brick, etc.
- Specify type of fill and compaction.
- Show and specify placement and size of anchor bolts.

PADS, PIERS, AND SLABS

- Illustrate top view showing locations for all pads, piers, slab work if present, and under-slab pads and footers.
- Show and/or specify length, width and depth of all pads, piers and slabs.
- Show or specify method of anchoring columns to them.
- Show or specify all rebar or mesh to be used in construction.
- Show or specify depth of pier below grade.

FRAMING

GENERAL

- Illustrate dimensioned floor plan for each floor of the house, basement, garage, greenhouse, etc., and list the planned usage of each room in the house.
- On floor plan, illustrate location and specify size of all crawl spaces and attic access doors, and other openings.
- Specify grade and type of wood materials to be used.

Attic access
door min. size
22" x 30"

Crawl space
door min. size
18" x 24"

FLOOR SECTION

- Illustrate and specify locations and spacing for all floor construction members: pony walls, posts, beams, girders, etc.
- Specify that all wood to be in direct contact with unprotected concrete or within 18" of dirt must be an approved treated wood or a wood with natural resistance to decay (12" clearance required for girders).
- Show spacing and length of span of all floor joists.
- Illustrate and specify sub-flooring to be used.
- Illustrate and specify double joists under parallel bearing partitions.
- Specify type of joist blocking or bridging to be used.

WALL SECTION

- Specify all ceiling heights.
- Illustrate/specify all wind-bracing construction used.
- Illustrate double plates on top of all stud walls.
- Describe all headers with clear spans over 4'0" (type of material, how constructed, and specific size).
- Specify what materials are to be used to cover all interior and exterior stud wall surfaces (exterior siding, sheetrock, paneling, etc.).

ROOF SECTION

- Show spacing, length of spans, and pitch to be used for trusses, beams, rafters, ceiling joists, etc.
- Specify roof underlayment and sheathing to be used.
- Specify type of roofing to be used.
- Specify type of material to cover all ceilings.

All trusses
must be
engineer
certified.

See Section R 303 for minimum natural light and ventilation requirements

WINDOWS

- Give dimensions for all glazed openings and type of window (casement double hung, slider, awning, fixed, etc.).
- Show locations for all glazed openings.
- Specify minimum of double glazed windows.
- Specify safety glass where applicable.
- Specify all glazing between carport and house to be fixed.

FIRE SAFETY

- Specify that at least one egress window does open to the outside for all bedrooms that do not have a door leading directly to the outside.
- Show location of all fire-warning devices. Smoke detectors in each sleeping room and centrally located in corridor and sound alarm audible in all sleeping areas. The detectors shall receive primary power from the building wiring if it is a commercial source and shall have a battery backup.
- Specify that all garage common walls and garage ceiling must be covered with minimum ½" drywall.
- Specify the use of a 20-minute fire resistant door between attached garage and dwelling.
- Specify dimensions of fireplace opening and hearth extensions.

VENTILATION

- Specify mechanical ventilation to outside for all bathrooms that do not have an adequate direct exterior opening.
- Specify under floor vents for all crawl spaces.
- Specify all attic vents. A combination soffit vents and roof vents required.

Attic and crawl spaces require 1 sq. ft. of net ventilation area for every 150 sq. ft. of ceiling area or floor area, respectively, or as defined by Sections R408 & R 806

MISCELLANEOUS

Minimum R
Values

Walls = 18
*Ceiling = 38
Crawl
Space = 21

*When
window area
does not
exceed 15%
of wall

Height of stair
handrails not
to be less than
34" or higher
than 38".

Guardrails
other than
stairways not
to be less than
36" high. 4"
sphere shall
not pass
through
immediate
rails.

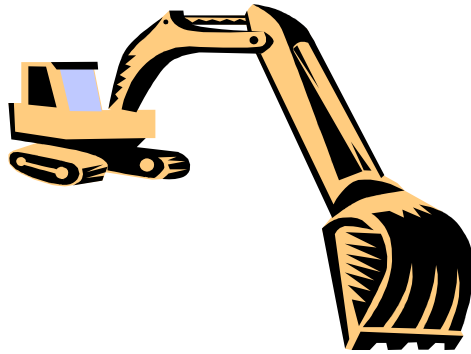
Max. rise-
7 3/4"

Min. run-
10"

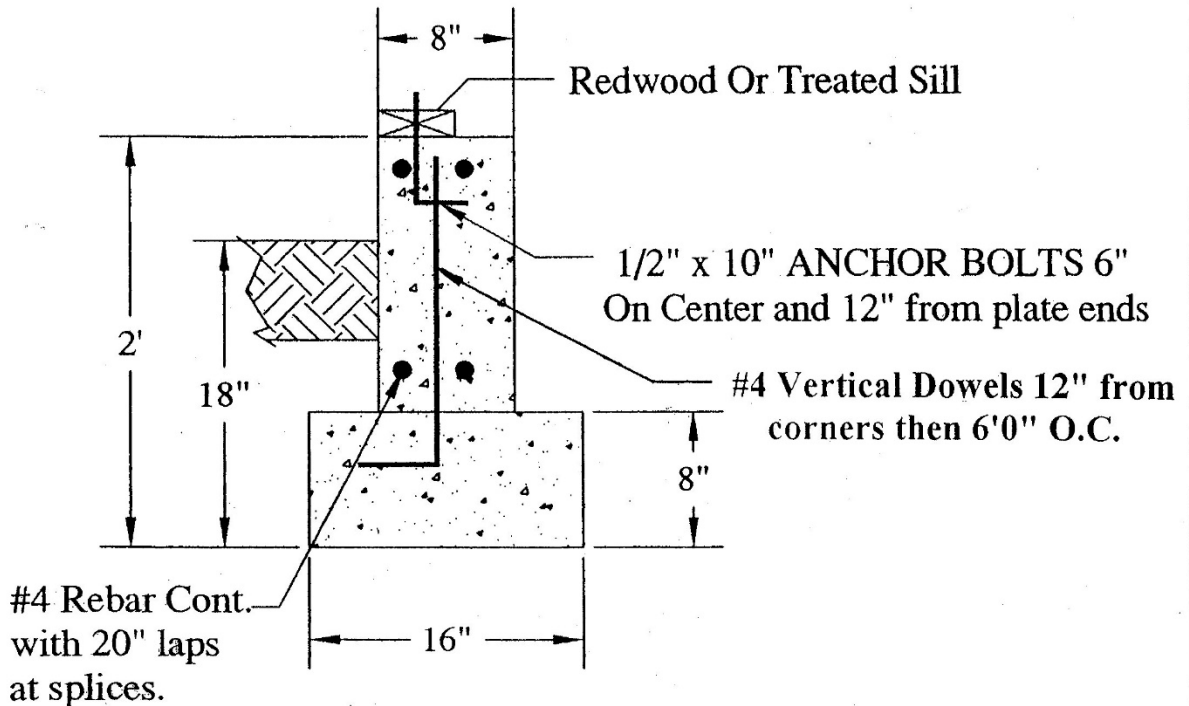
- Specify "R" value of insulation used throughout the dwelling.
- Show height of all chimneys above the roof.
- Show size of supporting members of porch roofs and decks.
- Specify widths for all stairs and hallways.
- Specify tread length, riser height and head room for all stairs.
- Specify a minimum height of 6'8" for all doors.
- Specify height of all handrails and stairway guardrails.
- Specify the height of guardrails other than stairway guardrails.
- Specify size of openings in all guardrails.
- Submit any other items as needed to adequately check for compliance with the 2018 International Building Code.

CITY OF DELTA

MINIMUM FOUNDATION STANDARDS



Crawlspace Foundation



NOTES:

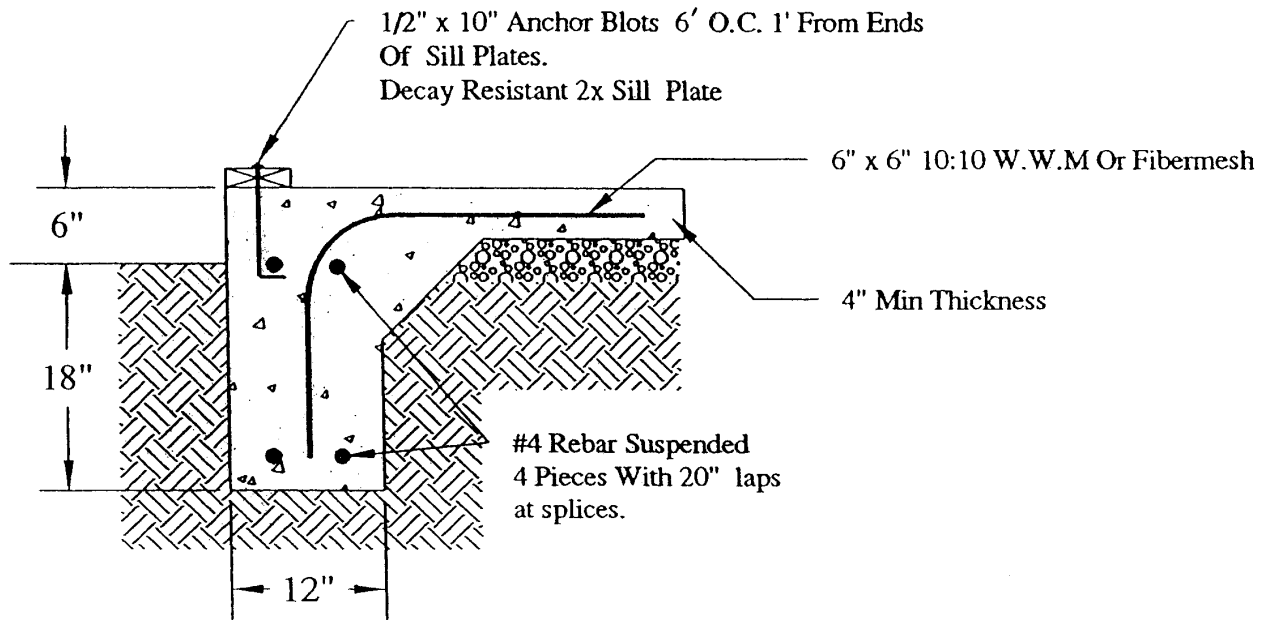
Maintain 3" clearance between bottom of trench and rebar. Also, maintain 1 1/2" clearance between inside of forms and rebar.

Carefully establish elevation so that ground will slope away from foundation when graded. Most urban settings require top of foundation to be 12" +2% above flow line of gutter.

Minimum Footer/Stemwall Requirements

City Of Delta

* Or As Approved By The Building Official For Detached Accessory Use Building Only.



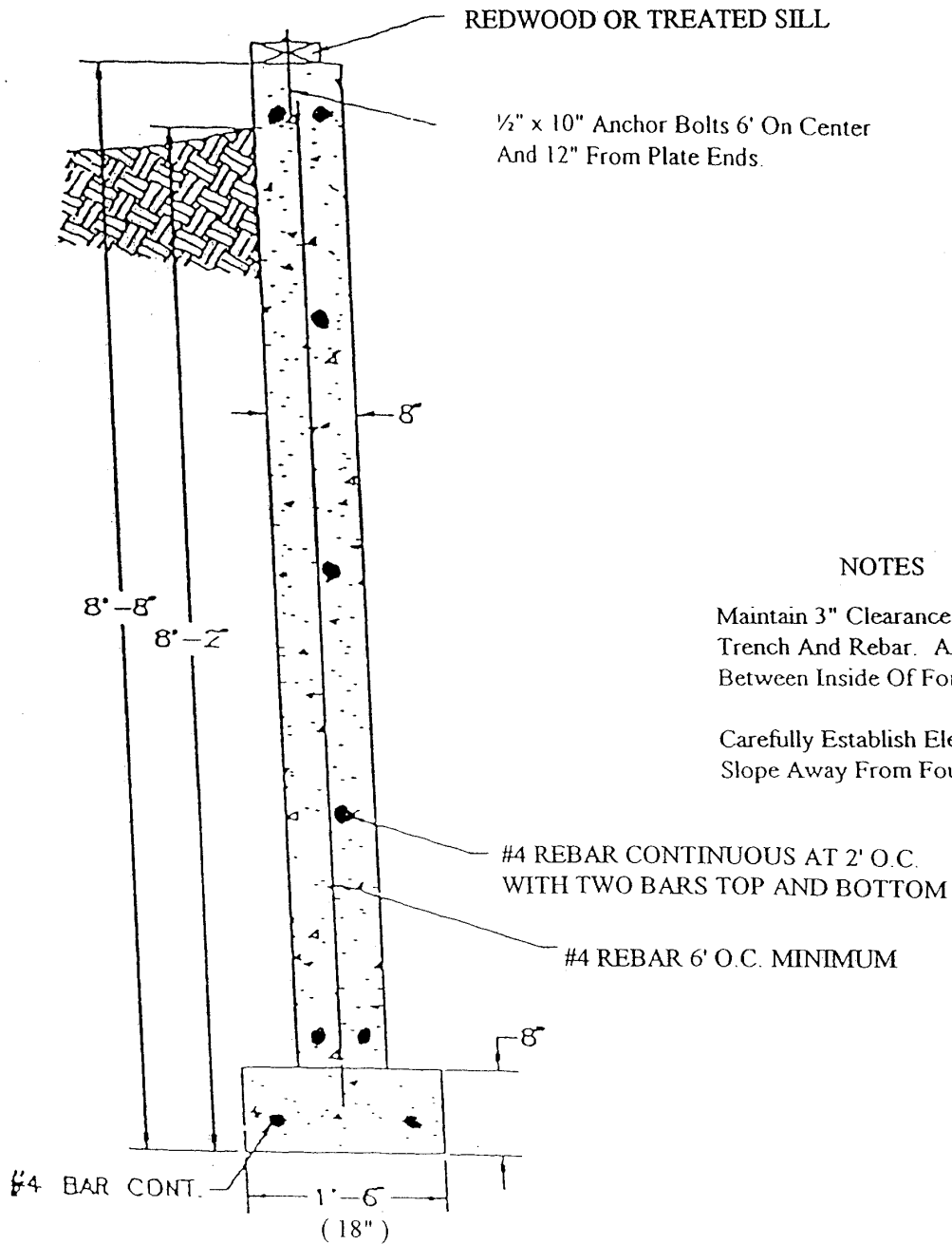
NOTES:

Sill plates to be redwood or approved treated wood.

Maintain minimum of 3" between rebar and earth.

Slope ground away from stemwall
After installation.

MINIMUM MONOLITHIC REQUIREMENTS
CITY OF DELTA



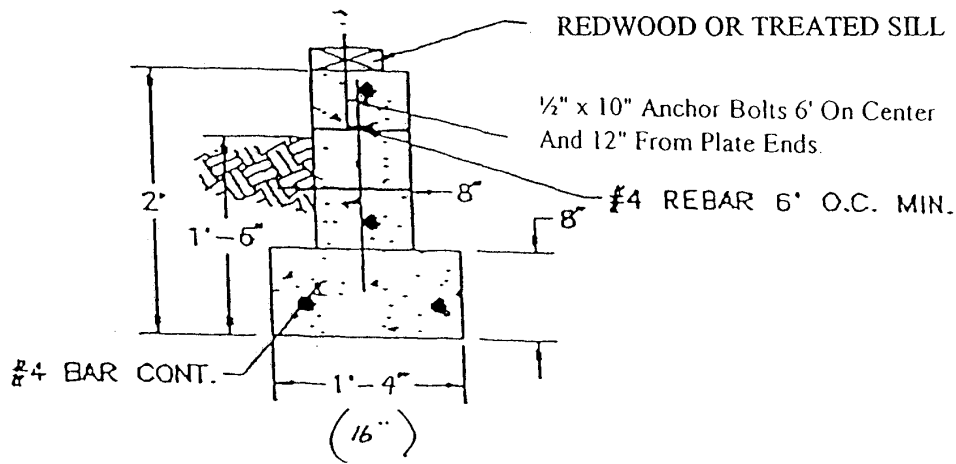
NOTES

Maintain 3" Clearance Between Bottom Of Trench And Rebar. Also, Maintain 1 1/2" Clearance Between Inside Of Forms And Rebar

Carefully Establish Elevation So That Ground Will Slope Away From Foundation When Graded.

BASEMENT WALL USED WITH A FLOOR SYSTEM

MINIMUM FOOTER/STEMWALL REQUIREMENTS
CITY OF DELTA



CONCRETE BLOCK FOUNDATION

NOTES

Maintain 3" Clearance Between Bottom Of Trench And Rebar Also, Maintain 1 1/2" Clearance Between Inside Of Forms And Rebar

Carefully Establish Elevation So That Ground Will Slope Away From Foundation When Graded

MINIMUM FOOTER/STEMWALL REQUIREMENTS CITY OF DELTA

CONTACTS

Located in City Hall (360 Main Street St):

Building Inspector..... (970) 874-7909 x 227
City Planning..... (970) 874-7909 x 226
Community Development Manager..... (970) 874-7909 x 225
Planning and Building Technician..... (970) 874-7909 x 226

Plumbing Permits - State of Colorado..... (303) 894-2300

Electrical Permits - City of Delta..... (970) 874-7909 x 226

UTILITY NOTIFICATION CENTER OF COLORADO.....811

RESIDENTIAL BUILDING PERMIT CHECKLIST

- Building Permit Application
- Copy of the recorded deed
- Two (2) Plot Plans which include the following:
 - Property Address
 - North Arrow and Scale
 - Lot Dimensions
 - All Projections (stairs, balconies, decks, cantilevers), distance from proposed structure to property lines and existing structures, what surrounds the property (street names, ditches, lakes, railroads)
- Two (2) sets of the following:
 - Architectural/Floor Plans
 - engineered stamped foundation plan
 - Mechanical Plans
 - Manual J compliance documentation
- Mechanical Permit Application
- Address application
- Sewer and Water tap application (or County OWTS approval for septic when applicable)

PERMITS or Agreements that **MAY** be required:

- Excavation Permit
- County On-Site Wastewater Treatment System (OWTS)
- Floodplain Permit
- Curb, Gutter and Sidewalk installed or postponement agreement signed

FEES required at application:

- Plan Review

FEES required at issuance of permit:

- Building Permit Fee
- Water and Sewer Tap Fees
- Mechanical Permit Fees – At time of mechanical permit application

All substantial building plans are reviewed by SAFEbuilt – you may contact the architect or engineer directly with questions and additional information may be required.

Small projects like carports or porches may be reviewed by the building inspector.

Important Information:

- **Building Inspector:** (970) 874-7909 x 227
- **Before You Dig:** Call 811 for locates
- **Electrical Permits:** City of Delta (970) 874-7909
- **Plumbing Permits:** Issued by the State Plumbing Board – inspections are completed by the State Plumbing Inspector. Call (303) 894-2300.

COMMERCIAL BUILDING PERMIT CHECKLIST

- Building Permit Application
- Copy of the recorded deed
- Two (2) Plot Plans which include the following:
 - Property Address
 - North Arrow and Scale
 - Lot Dimensions
 - All projections (stairs, balconies, decks, cantilevers), distance from proposed structure to property lines and existing structures, what surrounds the property (street names, ditches, lakes, railroads)
- Site Development Approval (see separate checklist)
- Two (2) sets of the following:
 - Architectural/Floor Plans – stamped by a Colorado licensed architect
 - Structural Plans and Specifications – stamped by a Colorado licensed engineer
 - Project Specifications
 - Foundation plans – stamped by a Colorado licensed engineer
 - Mechanical Plans – stamped by a Colorado licensed engineer
 - Fire Protections Plans – stamped (if sprinkler system is part of the design)
 - Soils Report – stamped by a Colorado licensed engineer
 - Structural Calculations – stamped by a Colorado licensed engineer
 - List of Special inspections required by IBC
- Mechanical Permit Application
- Submit a code analysis prepared by the Architect of Record for the following:
 - Occupancy and Construction Type
 - Area Calculations
 - Exiting
 - Occupant Load
 - Wind Speed Design
 - Snow Load, Frost Depth
 - List codes used for design
 - Any other pertinent information
- Address application
- Sewer and Water tap application (or County OWTS approval for septic when applicable)

PERMITS or Agreements that MAY be required:

- Excavation Permit
- County On Site Wastewater Treatment System (OWTS)
- Floodplain Permit
- Curb, Gutter and Sidewalk installed or postponement agreement signed

FEES required at application:

- Plan Review

FEES required at issuance of permit:

- Building Permit Fee
- Water and Sewer Tap Fees
- Mechanical Permit Fees – At time of mechanical permit application

All substantial building plans are reviewed by SAFEbuilt – they may contact the architect or engineer directly with questions and additional information may be required. **SAFEbuilt Phone Number:** (303) 774-1388 x 103

Important Information:

- **Building Inspector:** (970) 874-7909 x 227
- **Before You Dig:** Call 811 for locates
- **Electrical Permits:** City of Delta (970) 874-7909
- **Plumbing Permits:** Issued by the State Plumbing Board – inspections are completed by the State Plumbing Inspector. Call (303) 894-2300