

WEST LEGACY PARK

327 MAIN STREET

CITY OF DELTA, COLORADO

CONSTRUCTION PLANS

PREPARED FOR CITY OF DELTA, COLORADO
 Mike Konn, Project Manager, City of Delta - Public Works Department
 Delta, CO 81416
 327 MAIN STREET

PREPARED BY:

Landscape Architect/Land Planner:
 Ted Ciavonne, PLA
 Ciavonne Roberts and Associates, Inc.
 222 North 7th Street
 Grand Junction, CO 81501

Architect:
 Michael E Oney Architect, LLC
 404 West Grove Drive
 Grand Junction, CO 81504

Structural Engineer:
 Jeff Dunn
 Lindauer-Dunn, Inc.
 802 Rood Avenue
 Grand Junction, CO 81501

Land Surveyor:
 DOWL
 Joseph S Rease
 222 S Park Avenue
 Montrose, CO 81401

Electrical/Lighting Engineer:
 Bill Marston
 Marston-Electrical; The Engineering Collaborative of
 Western Colorado
 2591 Legacy Way, Suite #404
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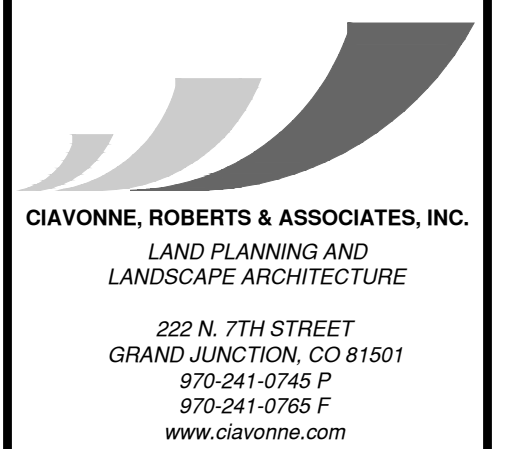
Geotechnical Engineer:
 Huddleston-Berry Engineering and Testing, LLC
 640 White Avenue
 Grand Junction, CO 81501

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CHECKED	CR, TC
JOB NO.	1942
DATE	02-28-2020
REVISIONS	

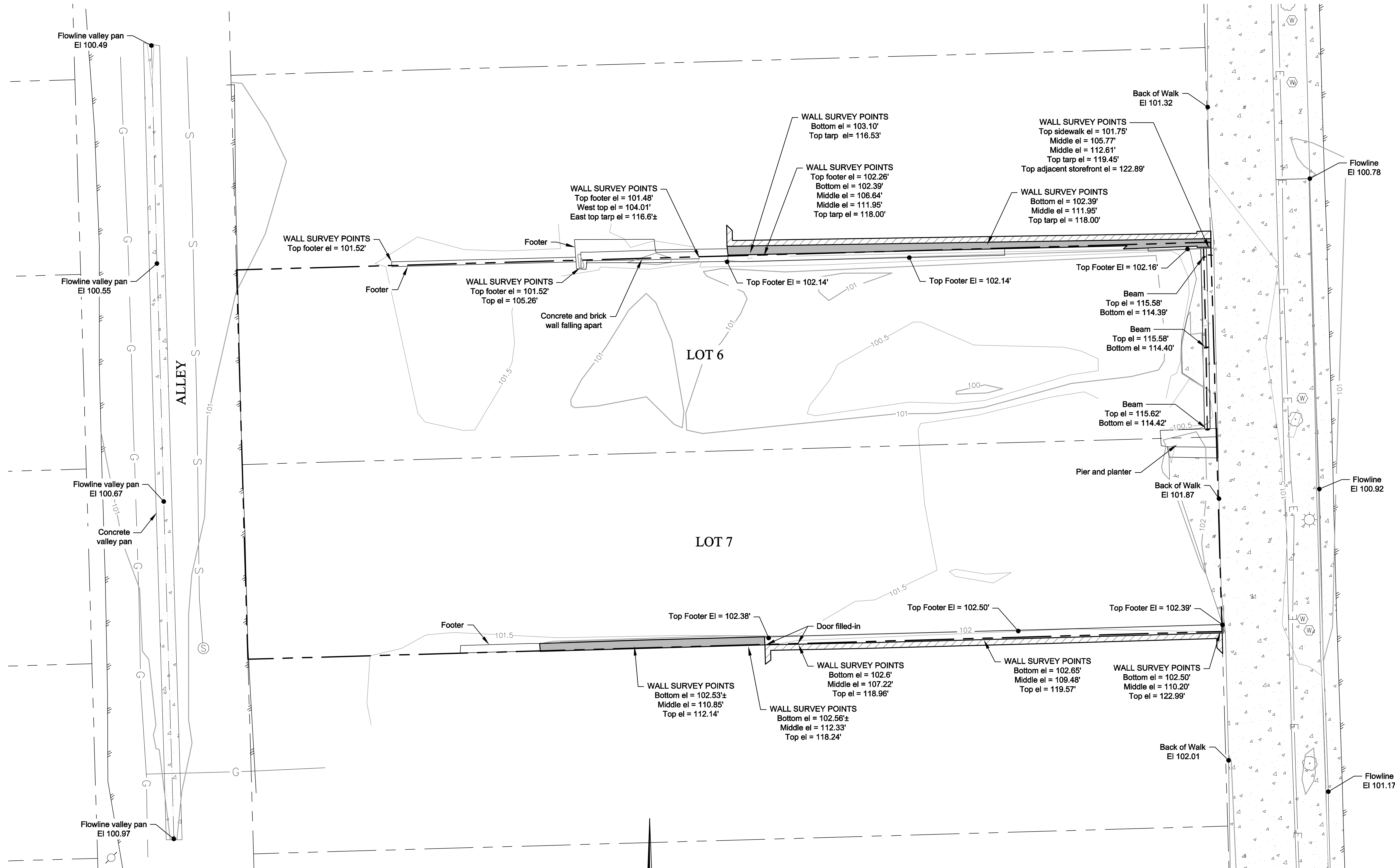
WEST LEGACY PARK
 327 MAIN ST
 DELTA, COLORADO



WEST LEGACY PARK

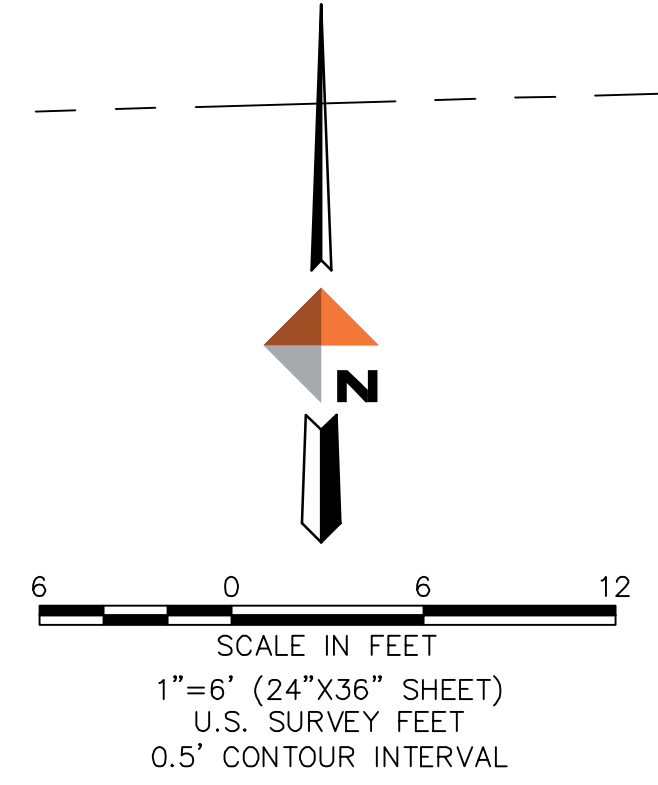
COVER SHEET

SHEET NO.
COVER



LEGEND

- | | | | |
|--|---------------------------|--|---------------|
| | Lot Line | | Tree |
| | Edge of pavement | | Lamp post |
| | Valley pan flowline | | Water meter |
| | Underground electric line | | Utility pole |
| | Gas line | | Concrete |
| | Sanitary sewer line | | Wall |
| | | | Adjoiner Wall |



CLIENT:
City of Delta
350 Main Street
Delta, Colorado 81416
Contact: Mike Kohn
mike@cityofdelta.net

SURVEYOR:
Joseph S. Reese
PLS 36067
DOWL, 222 S. Park Avenue
Montrose, CO 81401

DOWL
www.dowl.com

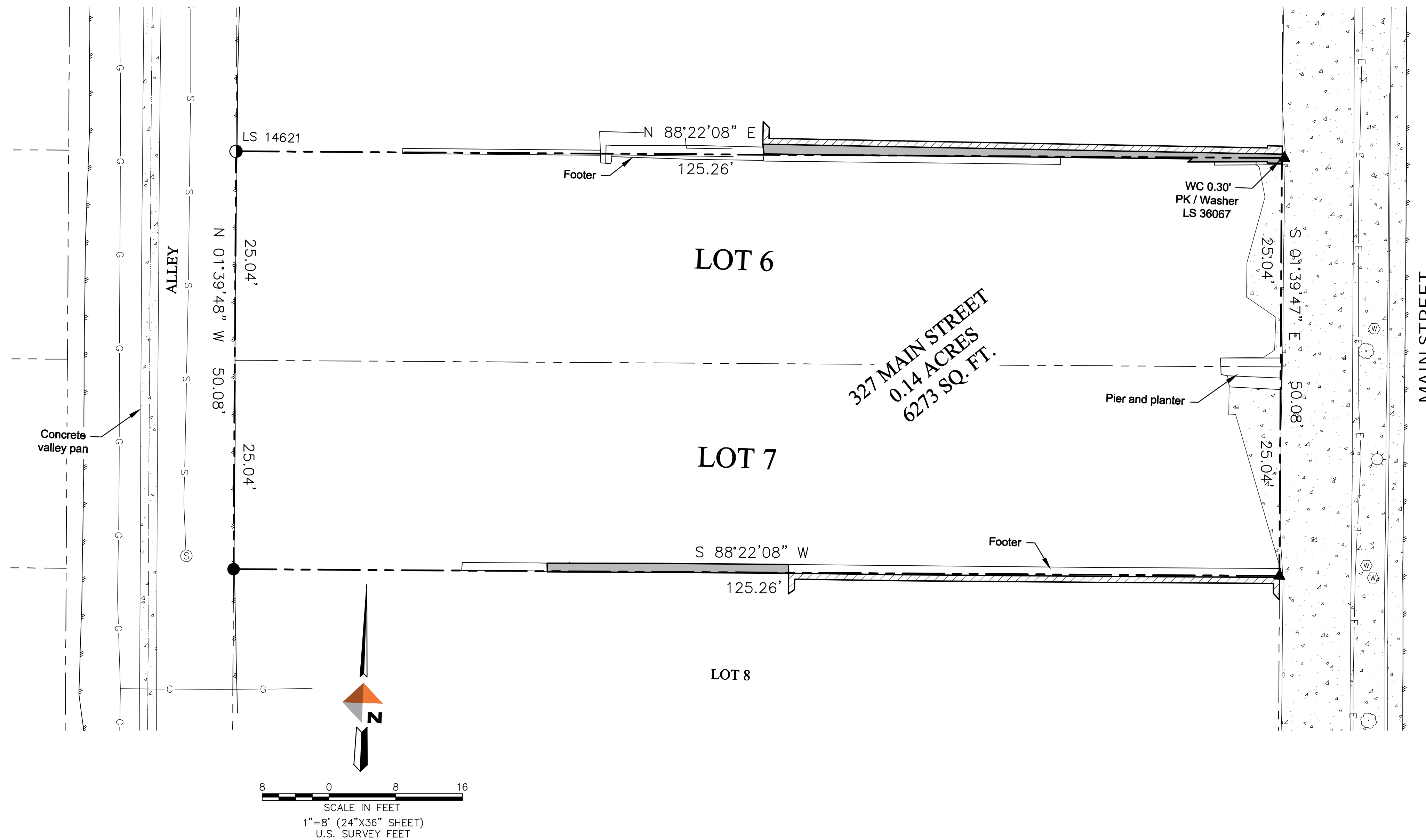
222 South Park Avenue
Montrose, Colorado 81401
970-249-6828

Delta Pocket Park Topo Survey
Lots 6 and 7, Block 15, Original Plat of the Town, now City of Delta,
County of Delta, State of Colorado

PROJECT 7127.75056
DATE 12/31/2019
DRAFTER DDC
FIELD DATE 12/2019
FIELD CREW JR
CLOSURE

SHEET
V-1 A
1 OF 1

DELTA POCKET PARK BOUNDARY SURVEY
 Lots 6 and 7, Block 15, Original Plat of the Town,
 now City of Delta,
 County of Delta, State of Colorado



- LEGEND**
- Found rebar and cap, LS as noted
 - ⊗ Found Tag LS as noted
 - △ Set PK nail
 - Set rebar and 1 1/2" AC LS 36067
 - ▲ Set PK / washer LS 36067
 - Aliquot Line
 - - - Lot Line
 - Edge of pavement
 - E — E — Underground electric line
 - G — G — Gas line
 - S — S — Sanitary sewer line
 - ▭ Concrete
 - ▭ Wall
 - ▭ Adjoiner Wall
 - Tree
 - ⊙ Lamp post
 - ⊙ Water meter
 - ⊙ Utility pole

LEGAL DESCRIPTION:

Lots 6 and 7, Block 15, Original Plat of the Town, now City of Delta, Colorado as recorded at Reception No.703748 in the Delta County Recorder's Office in May 2018. County of Delta, State of Colorado and containing 0.14 acres, or 6273 sq. ft. more or less.

BASIS OF BEARINGS:

The survey control centerline of Palmer Street from 3rd Street to 8th Street is assumed to bear S 01°40'00" E and is monumented as shown hereon. All other bearings are relative thereto.

GENERAL NOTES

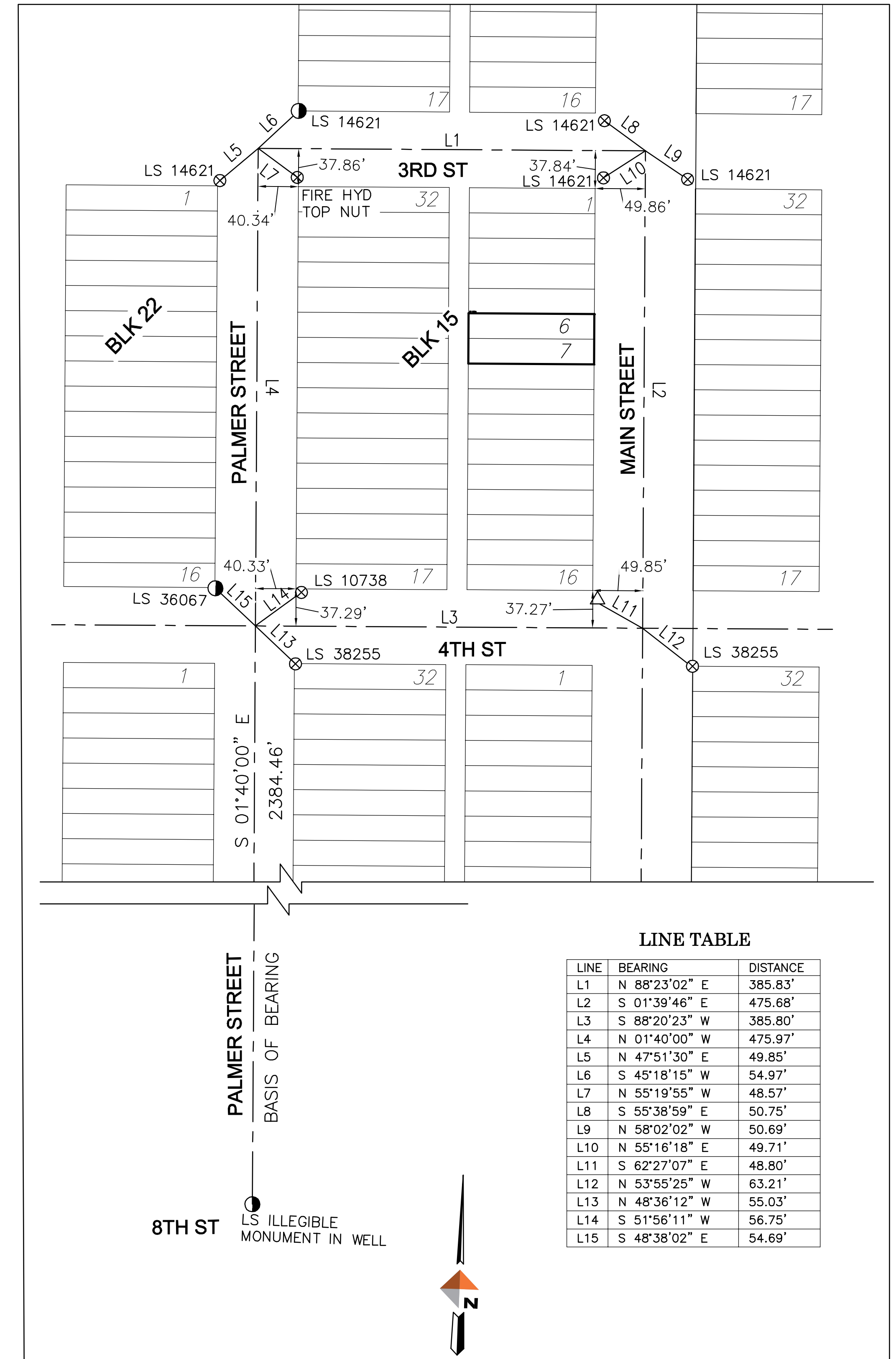
1. All fence lines shown hereon are for graphical purposes only. They may not be relied upon to establish property boundaries.
2. This survey was performed without the benefit of a title policy. This survey does not constitute a title search by DOWL.
3. Surveyor's certifications hereon shall run only to the person(s) for whom this survey was prepared and on their behalf to the agencies listed on this/these sheet(s). Surveyor's certifications are not transferable to additional institutions or subsequent owners.
4. No guarantee as to the accuracy of the information contained within this plat is either stated or implied unless this print bears an original signature and seal of the professional land surveyor hereon named. Only prints of this survey marked with an original signature and seal by the surveyor named hereon shall be considered true, valid copies.
5. Notice 13-80-105 C.R.S. as amended:
According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

SURVEYOR'S CERTIFICATE:

I, Joseph S. Rease, a Professional Land Surveyor in the State of Colorado, do hereby certify that this plat accurately represents a survey made by me or under my direction and supervision. I further certify that the monuments shown hereon actually exist and that their positions are as shown.



JOSEPH S. REASE, PLS 36067 Date



LINE TABLE

LINE	BEARING	DISTANCE
L1	N 88°23'02" E	385.83'
L2	S 01°39'46" E	475.68'
L3	S 88°20'23" W	385.80'
L4	N 01°40'00" W	475.97'
L5	N 47°51'30" E	49.85'
L6	S 45°18'15" W	54.97'
L7	N 55°19'55" W	48.57'
L8	S 55°38'59" E	50.75'
L9	N 58°02'02" W	50.69'
L10	N 55°16'18" E	49.71'
L11	S 62°27'07" E	48.80'
L12	N 53°55'25" W	63.21'
L13	N 48°36'12" W	55.03'
L14	S 51°56'11" W	56.75'
L15	S 48°38'02" E	54.69'

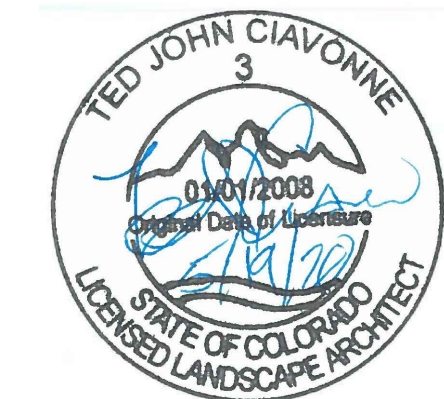
VICINITY AND SURVEY CONTROL MAP
NOT TO SCALE

<p>CLIENT: City of Delta 300 Main Street Delta, Colorado 81416 Contact: Mike Kohn mike@cityofdelta.net</p>	<p>DOWL www.dowl.com</p>	<p>Delta Pocket Park Boundary Survey Lots 6 and 7, Block 15, Original Plat of the Town, now City of Delta, County of Delta, State of Colorado</p>	<p>PROJECT 7127.75056 DATE 12/31/2019 DRAFTER DDC FIELD DATE 12/2019 FIELD CREW JR CLOSURE JSR-OK</p>
<p>SURVEYOR: Joseph S. Rease PLS 36067 DOWL, 222 S. Park Avenue Montrose, CO 81401</p>	<p>222 South Park Avenue Montrose, Colorado 81401 970-249-6828</p>		<p>SHEET V-1 1 OF 1</p>

DRAWN BY MH
 CHECKED CR, TC
 JOB NO. 1942
 DATE 03-12-2020
 REVISIONS

WEST LEGACY PARK
 327 MAIN ST
 DELTA, COLORADO

CIAVONNE, ROBERTS & ASSOCIATES, INC.
 LAND PLANNING AND
 LANDSCAPE ARCHITECTURE
 222 N. 7TH STREET
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 970-241-0745 P
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LAYOUT PLAN LEGEND

- CONCRETE PAVEMENT WITH 4' X 4' SCORE JOINT PATTERN (ALL CONCRETE WITH 12 INCHES STRUCTURAL FILL)
- CONCRETE STAIN (RIVER PATTERN) WITH SAWCUTS
- PLAYGROUND CUSHION FILL MATERIAL
- 4" PVC IRRIGATION SLEEVE (SEE IRRIGATION SHEET)
- FOR ELECTRICAL CONDUIT; SEE ELECTRICAL
- DRAINAGE PIPE (SEE DRAINAGE PLAN)
- BARRIER CURB/BLOCK
- PROPOSED WATER SERVICE LINE
- PEDESTRIAN LIGHT POLE, SEE ELECTRICAL
- EXISTING STORM DRAIN, LOCATION APPROXIMATE

ABBREVIATION LEGEND

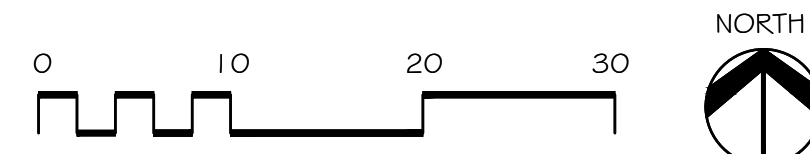
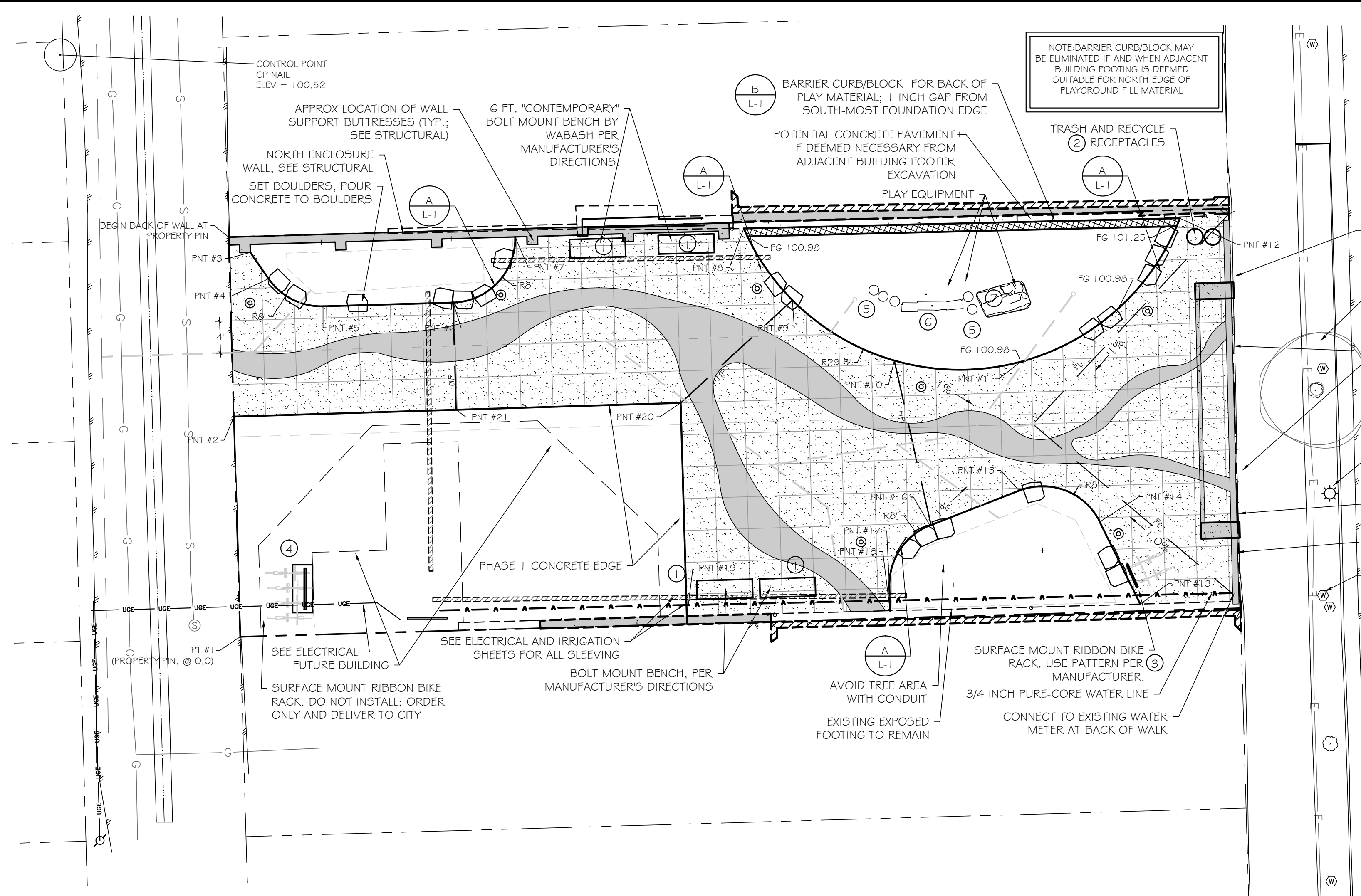
- FG FINISH GRADE
- HP HIGH POINT
- INLET INLET
- LP LOW POINT
- PC POINT OF CURVATURE
- PI POINT OF INTERSECTION
- FOB POINT OF BEGINNING
- FOC POINT OF CONNECTION
- PT POINT OF TANGENCY
- RP RADIUS POINT

POINT TABLE

PNT#	DESC	X	Y	ELEV.
1	FOB	0	0	
2	PI	0	27.6	101.23
3	PT	2.6	48.0	101.12
4	PT	4.7	44.7	101.12
5	PT	11.4	41.1	101.38
6	HP	27.7	41.1	101.60
7	PI	35.7	49.1	101.54
8	PI	64.4	49.3	101.54
9	HP	70.2	40.2	101.54
10	HP	82.8	32.3	101.54
11	LP	98.6	31.7	101.48
12	PI	119.0	49.0	101.75
13	PI	112.7	0.9	101.66
14	PT	107.9	11.3	101.63
15	PT	97.9	15.5	101.40
16	PT	86.8	11.5	101.50
17	PT	81.3	4.0	101.54
18	PI	81.3	.9	101.58
19	PI	55.9	1.0	101.54
20	PI	55.9	27.7	101.60
21	HP	27.7	27.6	101.60

LAYOUT & GRADING NOTES:

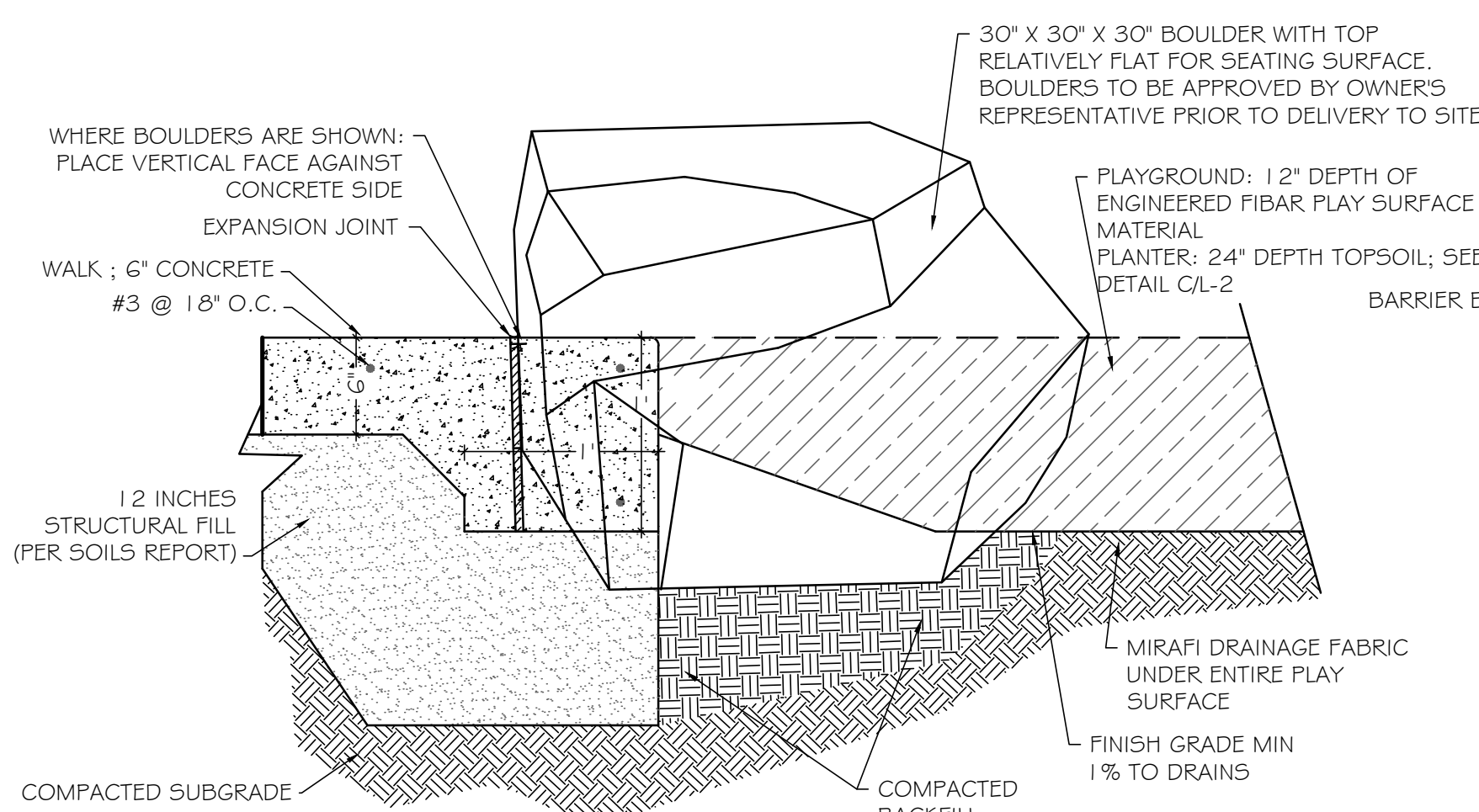
1. SEE SPECIFICATIONS AND DETAILS ON THESE PLANS AND CITY OF DELTA SPECIFICATIONS AS THEY APPLY TO THIS AND RELATED WORK.
2. ALL WORK SHALL BE PER EXISTING CITY AND STATE CODES, IS SUBJECT TO INSPECTION AND APPROVAL BY APPROPRIATE INSPECTORS, AND IS RESPONSIBLE FOR SECURING PERMITS FROM THE CITY OF DELTA AND PROVIDING FOR TRAFFIC CONTROL.
3. THE CONTRACTOR OR HIS SURVEYOR SHALL VERIFY ALL FURNISHED SURVEY AND TOPOGRAPHIC DATA AND ALL POINTS, LINES, AND ELEVATIONS. THE CONTRACTOR SHALL NOTIFY THE PROJECT MANAGER OF ANY DISCREPANCIES BETWEEN INFORMATION GIVEN ON DRAWINGS AND ACTUAL SITE OR FIELD CONDITIONS AND SHALL NOT PRECEED WITH ANY AFFECTED WORK UNTIL THE OWNERS REPRESENTATIVE ISSUES INSTRUCTIONS. ADDITIONAL BURIED UTILITIES NOT SHOWN ON THESE DRAWINGS MAY BE PRESENT IN THE PROJECT AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR SPECIFIC LOCATIONS PRIOR TO COMMENCING ANY EXCAVATION.
4. CONTRACTOR SHALL PROTECT AND MAINTAIN ALL BENCHMARKS, CORNER MONUMENTS AND OTHER POINTS; IF DISTURBED OR DESTROYED, CONTRACTOR SHALL REPLACE AS DIRECTED, AT NO COST TO THE OWNER.
5. ALL PROPOSED LAYOUT & GRADING IS BASED ON EXISTING GRADE SURVEY FROM DOWL ENGINEERING.
6. CONCRETE PAVEMENT PLACEMENT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTION.
7. CONTRACTOR TO COORDINATE PLAY EQUIPMENT LOCATION AND INSTALLATION WITH SUPPLIER TO INSURE REQUIRED SAFETY ZONES AND INSTALLATION.
8. 4 FT CONCRETE JOINT PATTERN TO BEGIN AT CORNER OF PHASE I CONCRETE WHERE SHOWN ON PLAN.
9. RIVER PATTERN TO BE ACID-STAINED, USING TOOLED JOINTS TO DEFINE EDGES. STAIN TO BE SURESTAIN BY SURECRETE, COLOR = "PACIFIC BLUE". REMAINING PLAZA CONCRETE TO BE "SPANISH GOLD". www.surecretedesign.com, OR EQUAL. CONTRACTOR TO PROVIDE 2 FT X 2 FT. TEST PANELS OF EACH COLOR TO PROJECT MANAGER FOR APPROVAL PRIOR TO STAINING PLAZA CONCRETE. FINISH CONCRETE WITH SPARTAN CONCRETE SEAL.
10. PROPOSED GRADES DEPICT FINISH SURFACE OF MATERIAL. CONTRACTOR IS RESPONSIBLE FOR DETERMINING SUBGRADE ELEVATIONS.
11. CONTRACTOR SHALL PROVIDE AND INSTALL CONSTRUCTION FENCING ALONG ALLEY AND MAIN STREET SIDEWALK EDGES.
12. CONTRACTOR SHALL PROVIDE TOPSOIL FOR THE PLANTING BEDS TO DEPTHS SHOWN IN DETAILS, ALLOWING FOR MULCH DEPTH. DO NOT COMPACT TOPSOIL. TOPSOIL SHALL BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO PLACEMENT.
13. BOULDERS TO BE PLACED PRIOR TO CONCRETE POUR AND TO BE LOCATED OUTSIDE OF PLAY EQUIPMENT FALL SAFETY ZONES (COORDINATE WITH PLAY EQUIPMENT SUPPLIER). BOULDER TYPE AND LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE.



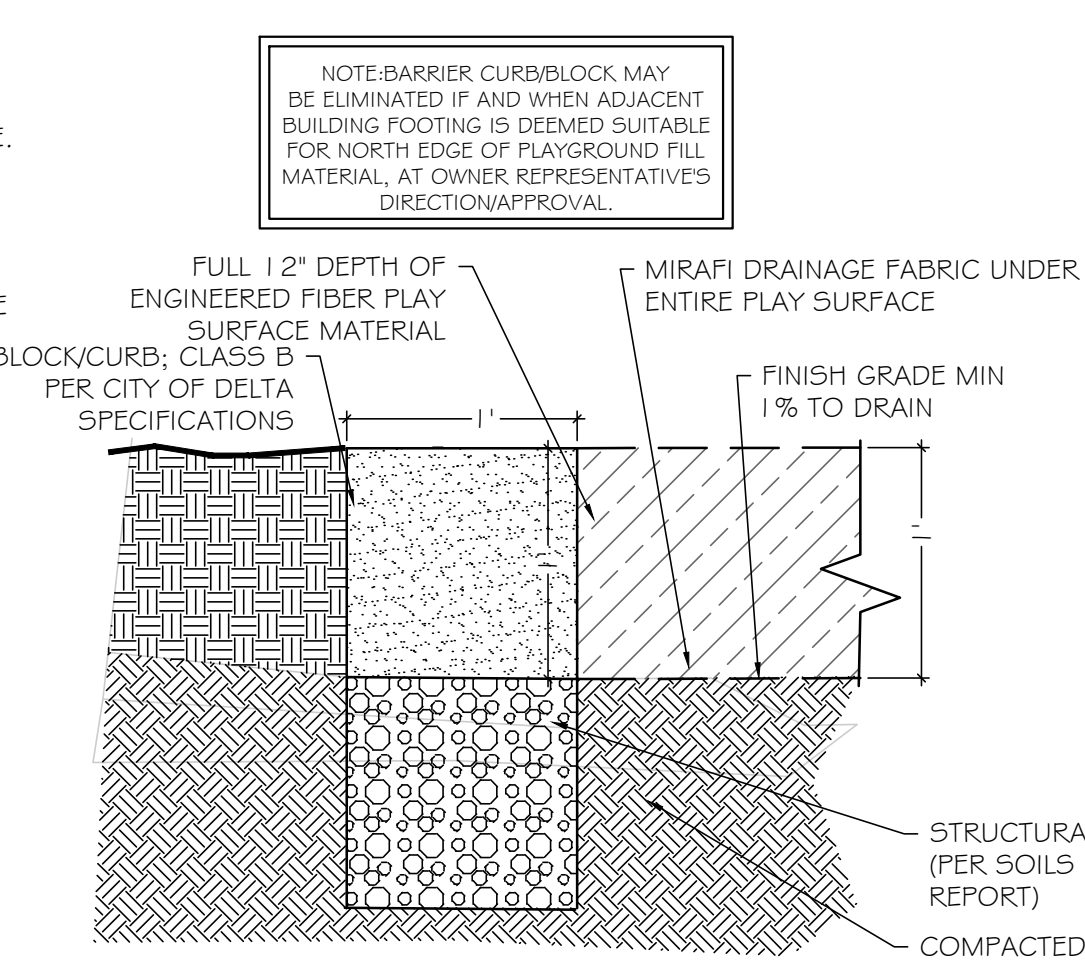
SITE FURNISHINGS SCHEDULE

ITEM	QTY	MANUFACTURER	DESCRIPTION
1	4	WABASH VALLEY	'CONTEMPORARY' 6 FT BENCH WITH SQR. PERFORATIONS, SURF.-MOUNT, COLOR=HUNTER GREEN
2	2	WABASH VALLEY	TRASH RECEPTACLE T13F33P, SURFACE-MOUNT, COLOR = HUNTER GREEN
3	1	PATTERSON-WILLIAMS	ROLLER COASTER BIKE RACK, MODEL #1 G02-05, SURFACE-MOUNT, POWDER COAT COLOR GREEN
4	1	PATTERSON-WILLIAMS	ROLLER COASTER BIKE RACK, MODEL #1 G02-07, SURFACE-MOUNT, POWDER COAT COLOR GREEN
5	5	LITTLE TYKES	20 INCH GFRC STUMPS
6	1	LITTLE TYKES	STACKED GFRC TIMBER BALANCE BEAM
7	1	LITTLE TYKES	FUN ROCK - SMALL

* AS PROVIDED BY RECREATION PLUS, DENVER, CO OR EQUAL



A
L-1
NOT TO SCALE



B
L-1
NOT TO SCALE

WEST LEGACY PARK

LAYOUT PLAN

SHEET NO.

L-1

WEST LEGACY PARK
DELTA, COLORADO

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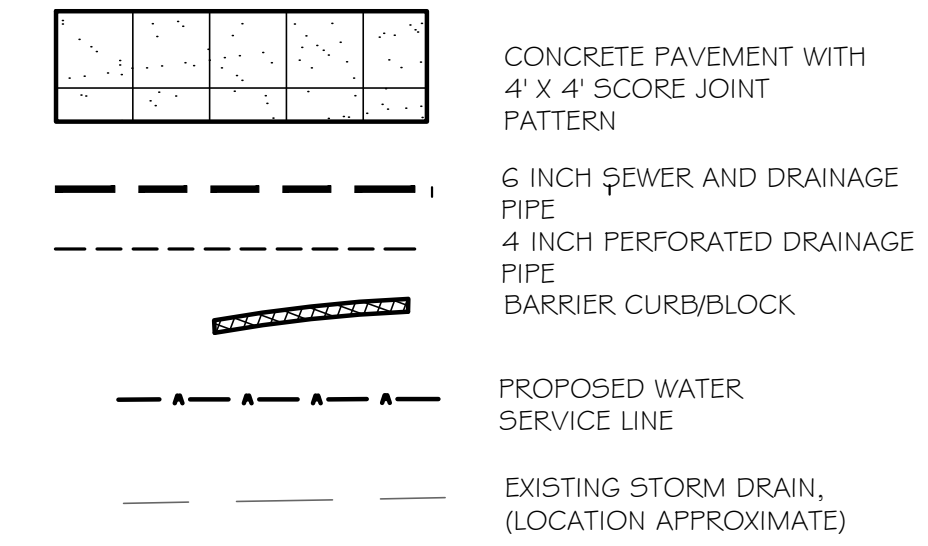
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DRAINAGE PLAN

SHEET NO.

L-2

DRAINAGE PLAN LEGEND

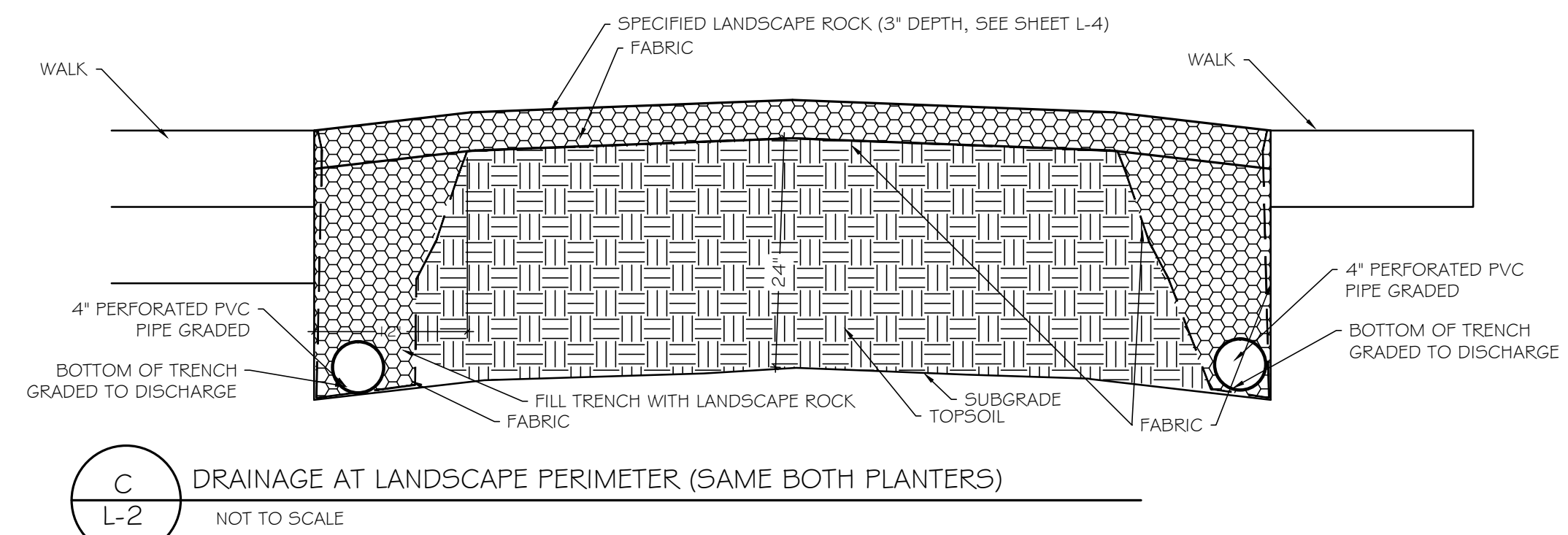
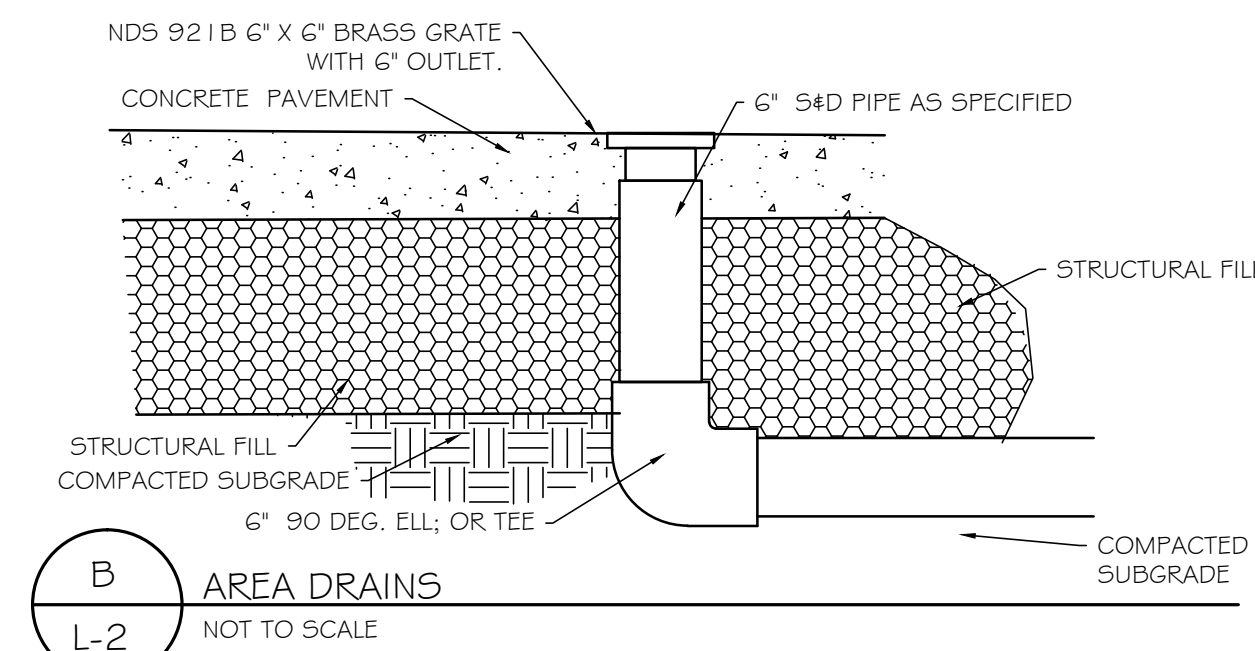
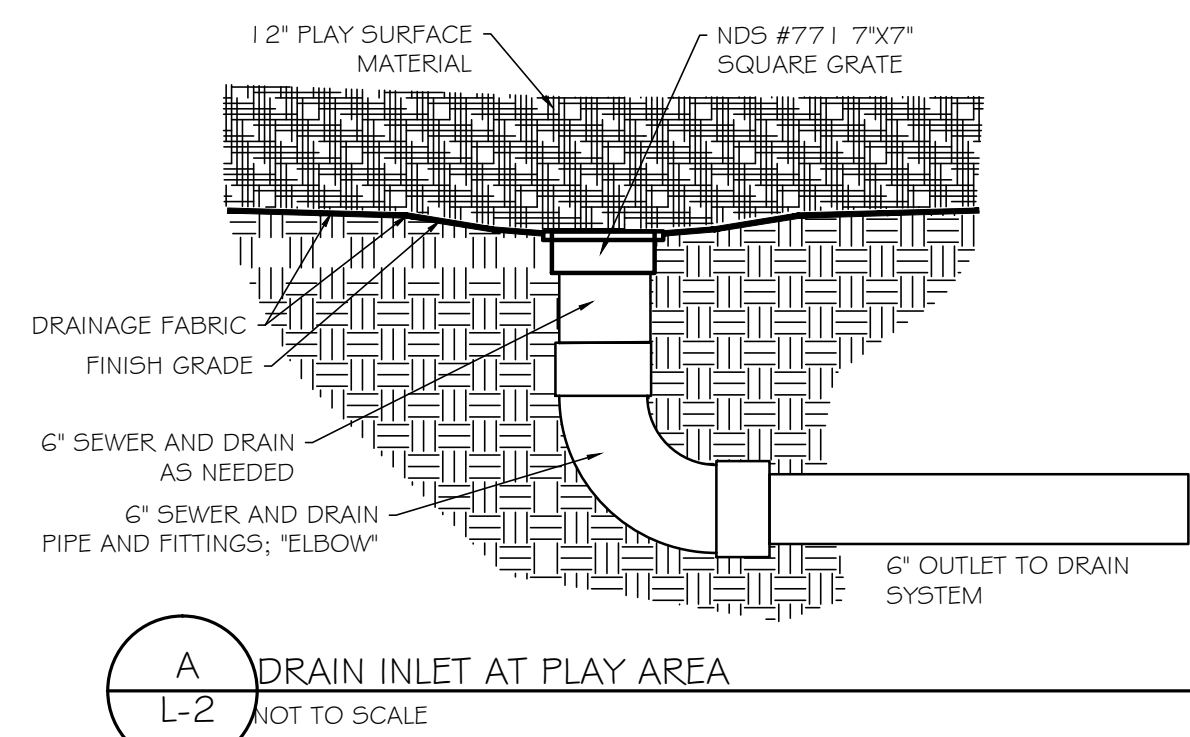
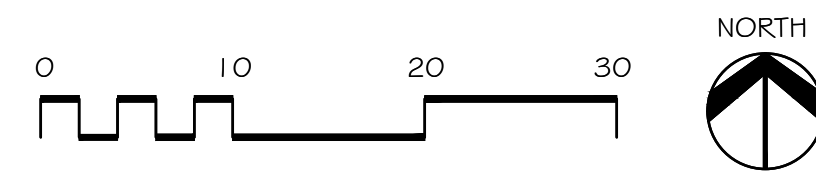
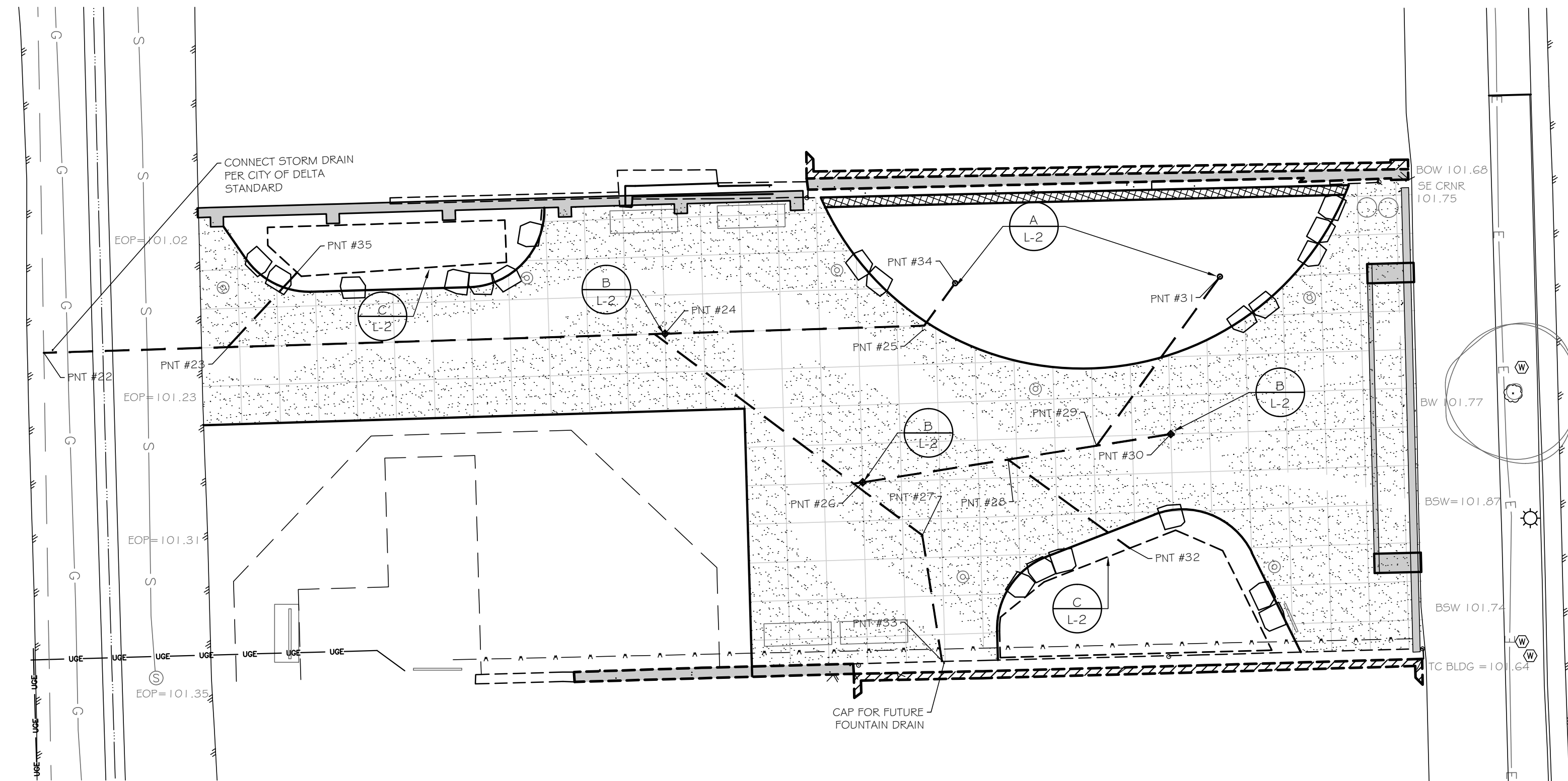


POINT TABLE

PNT#	DESC	X	Y	INVERT	RIM
22	POC	-16.4	35.5	EXISTING	
23	PI	2.7	35.6	97.2	
24	INLET	47.9	35.7	98.2	101.26
25	PI	74.7	35.70	99.1	
26	INLET	67.9	19.7	98.7	101.26
27	PI	73.9	14.1	99.0	
28	PI	83.0	21.7	99.0	
29	PI	92.2	22.8	99.2	
30	INLET	99.9	23.8	99.3	101.32
31	INLET	105.4	40.0	99.3	100.82
32	PI	95.3	12.1	99.3	
33	PI	75.5	1.0	99.3	
34	INLET	78	40.0	99.32	100.82
35	PI	10.0	43.1	99.4	

** ALL DISTANCES ARE TO BASELINE/SOUTH BUSINESS WALL, NOT TO EXPOSED FOOTER

ABBREVIATION LEGEND
 FG FINISH GRADE
 HP HIGH POINT
 INLET INLET
 LP LOW POINT
 PC POINT OF CURVATURE
 PI POINT OF INTERSECTION
 POB POINT OF BEGINNING
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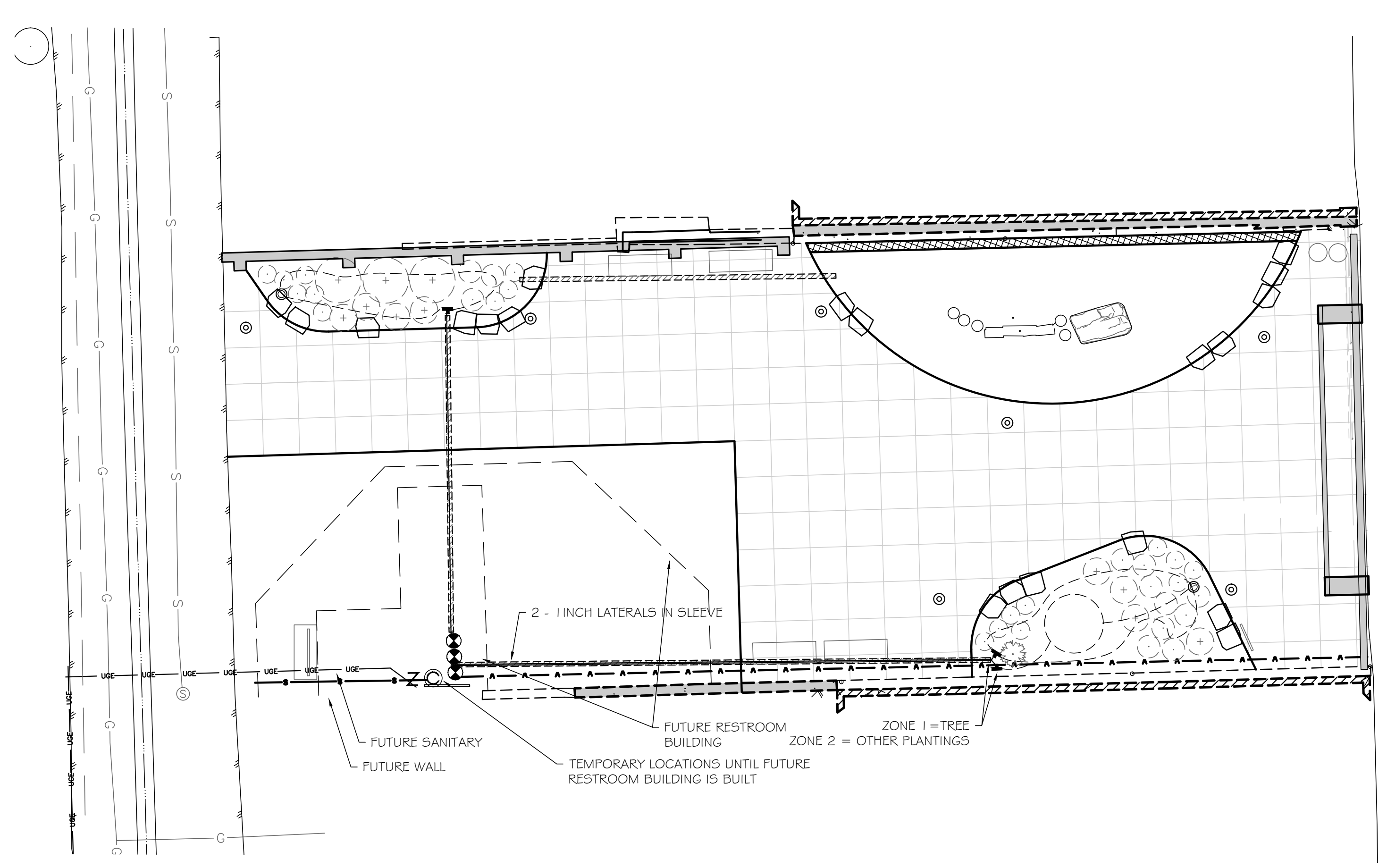
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WEST LEGACY PARK

IRRIGATION PLAN

SHEET NO.
L-3



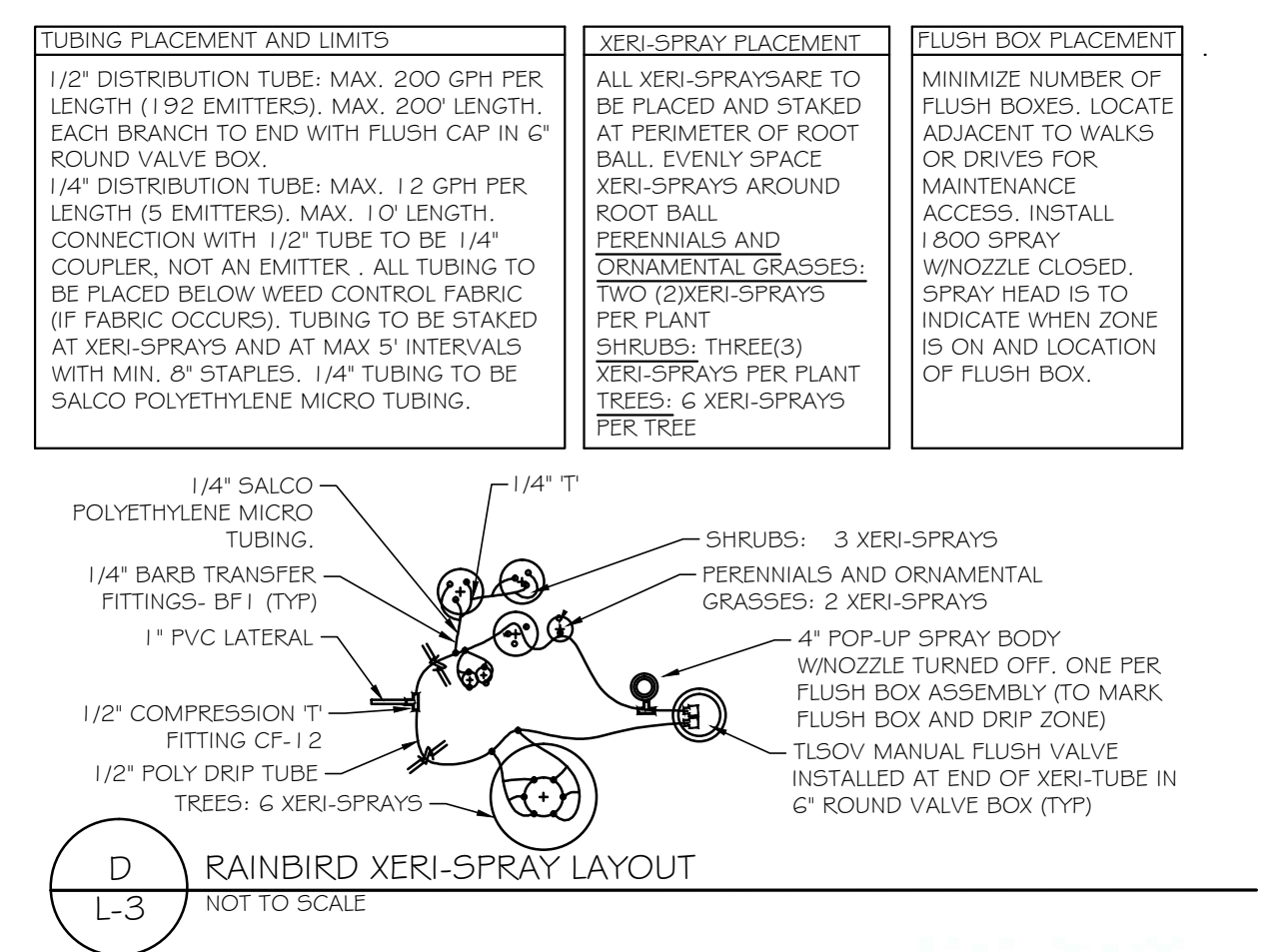
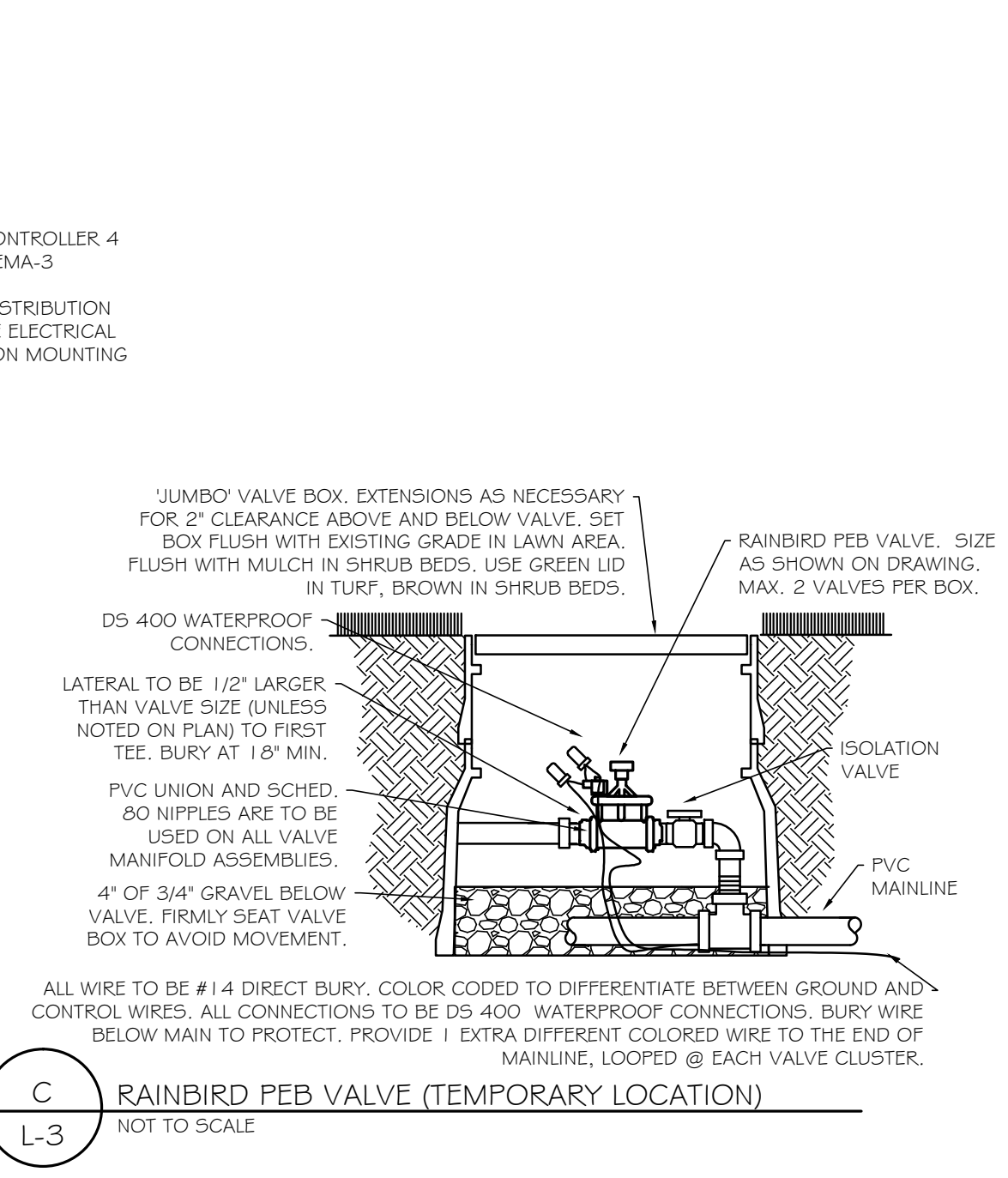
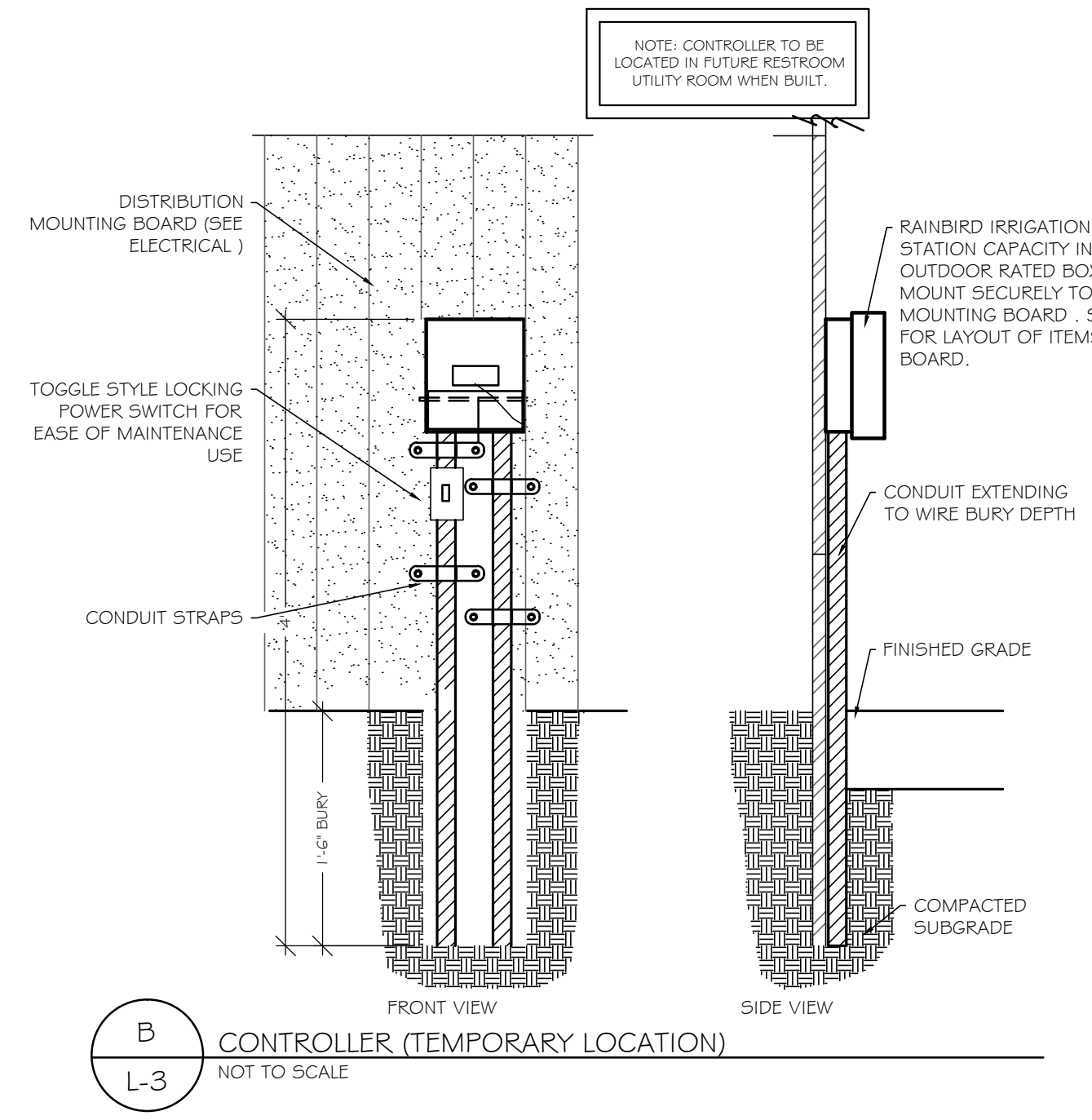
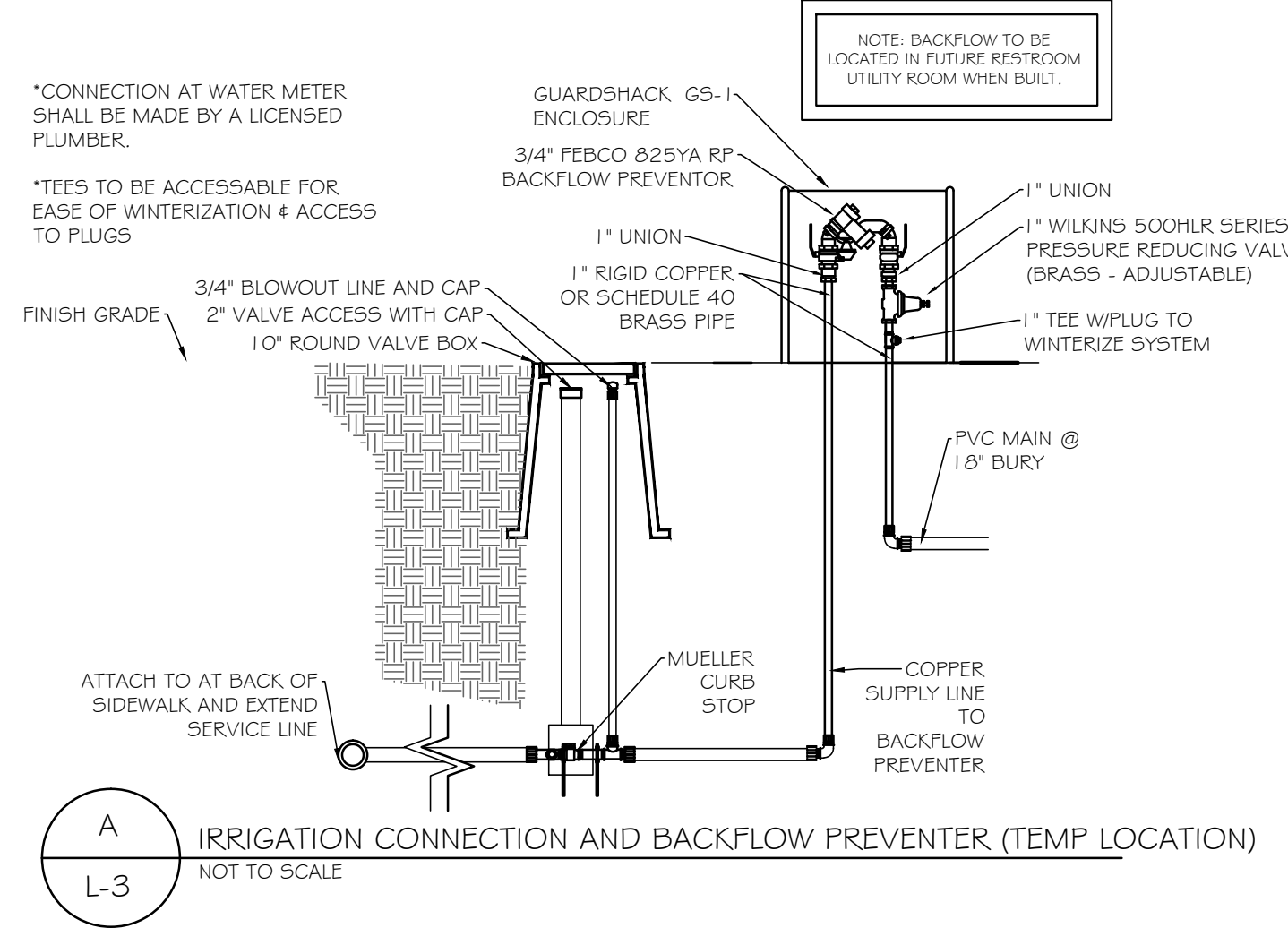
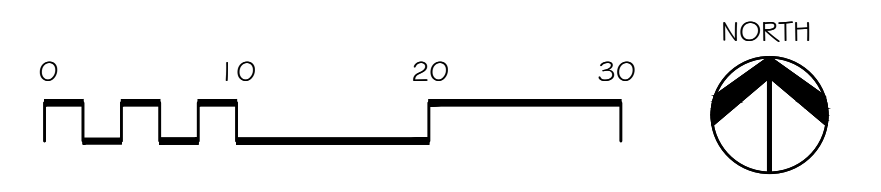
- LEGEND**
- LATERAL PVC PIPING CLASS 200 PVC, 1" UNLESS NOTED OTHERWISE
 - 1/4" DRIP TUBE
 - 222 PIPE SIZING
 - IRRIGATION SLEEVE, 4" TO BE INSTALLED THIS CONTRACT
 - ⊙ RAINBIRD FEB ZONE VALVE, SIZE PER VALVE SCHEDULE DETAIL C/L-3
 - ⊙ COMPRESSION "T" FITTING
 - ⊙ FROST FREE HYDRANT
 - ⊙ DRIP ZONE FLUSH BOX DETAIL D/L-3
 - ⊙ RAINBIRD ESP-TM2-4 IRRIGATION CONTROLLER IN LOCKABLE NEMA-3 OUTDOOR-RATED BOX DETAIL B/L-3
 - ⊙ IRRIGATION CONNECTION AND BACKFLOW PREVENTER DETAIL A/L-3

- IRRIGATION NOTES:**
1. ALL WORK SHALL BE PER EXISTING COUNTY OR STATE CODE AND IS SUBJECT TO INSPECTION AND APPROVAL BY APPROPRIATE INSPECTORS AND THE OWNER'S REPRESENTATIVE.
 2. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 3. POWER TO IRRIGATION CONTROLLER TO BE PROVIDED BY LICENSED ELECTRICIAN.
 4. ALL LATERAL AND MAIN LINES IN SYSTEM WILL BE CONTAINED IN SLEEVES WHEREVER CONCRETE IS TO BE OVERLAID.
 5. CLOCK TO BE MOUNTED ON "DISTRIBUTION MOUNTING BOARD", SEE ELECTRICAL DRAWINGS.
 6. MAXIMUM LENGTH OF SWING PIPE ON ALL HEADS SHALL BE 10 FT., MINIMUM LENGTH SHALL BE 2 FT.
 7. ALL MAINS SHALL BE BURIED AT A MINIMUM DEPTH OF 24 IN; ALL LATERALS AT A DEPTH OF 18 IN. ALL VALVE WIRING SHALL BE BUNDLED BY TAPING AT 25 FT. INTERVALS AND PLACED BELOW IRRIGATION PIPING FOR PROTECTION.
 8. CONTRACTOR TO INSTALL MANUAL DRAIN VALVES AT LOW POINT ON ALL MAIN LINES.
 9. SEE THIS SHEET FOR DETAILS.
 10. SYSTEM IS DESIGNED TO OPERATE AT 40 PSI, PROVIDING MINIMUM 30 PSI AT HEADS.
 11. WHERE IRRIGATION IS TO BE LOCATED ADJACENT TO FENCING, LATERALS SHALL BE LOCATED 12 INCHES FROM BACK OF WALK AND 3 INCHES FROM FACE OF FENCE.
 12. SPRAYS AT PLANTS TO BE XERI-SPRAY TRUE SPRAYS, AS SHOWN ON DETAILS.
 13. PIPE FROM CONTROL VALVE TO FIRST "TEE" TO USE 1/2" LARGER THAN VALVE UNLESS NOTED OTHERWISE.
 14. PIPE SIZE NOTATION INDICATES MINIMUM PIPE SIZE DOWNSTREAM FROM THAT POINT.

IRRIGATION VALVE SCHEDULE

VALVE #	SIZE	TYPE	XERI-SPRAYS
#1	1"	XERI-SPRAY - TREE	6
#2	1"	XERI-SPRAY - SOUTH PLANTINGS	51
#3	1"	XERI-SPRAY - NORTH PLANTINGS	45

- NOTES:**
1. CONTRACTOR IS OBLIGATED TO MONITOR SOIL MOISTURE TO AVOID SATURATION OR DROUGHT AND ADJUST SCHEDULE ACCORDINGLY DURING ESTABLISHMENT PERIOD.



S:\Projects\2019\job numbers\1942 - Delta Pocket Park\Plan\1942 3-5-20.dwg, 5/19/2020 11:15:27 AM

DRAWN BY MH
 CHECKED TC, CR
 JOB NO. 1942
 DATE 03-12-2020
 REVISIONS

WEST LEGACY PARK
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 DELTA, COLORADO

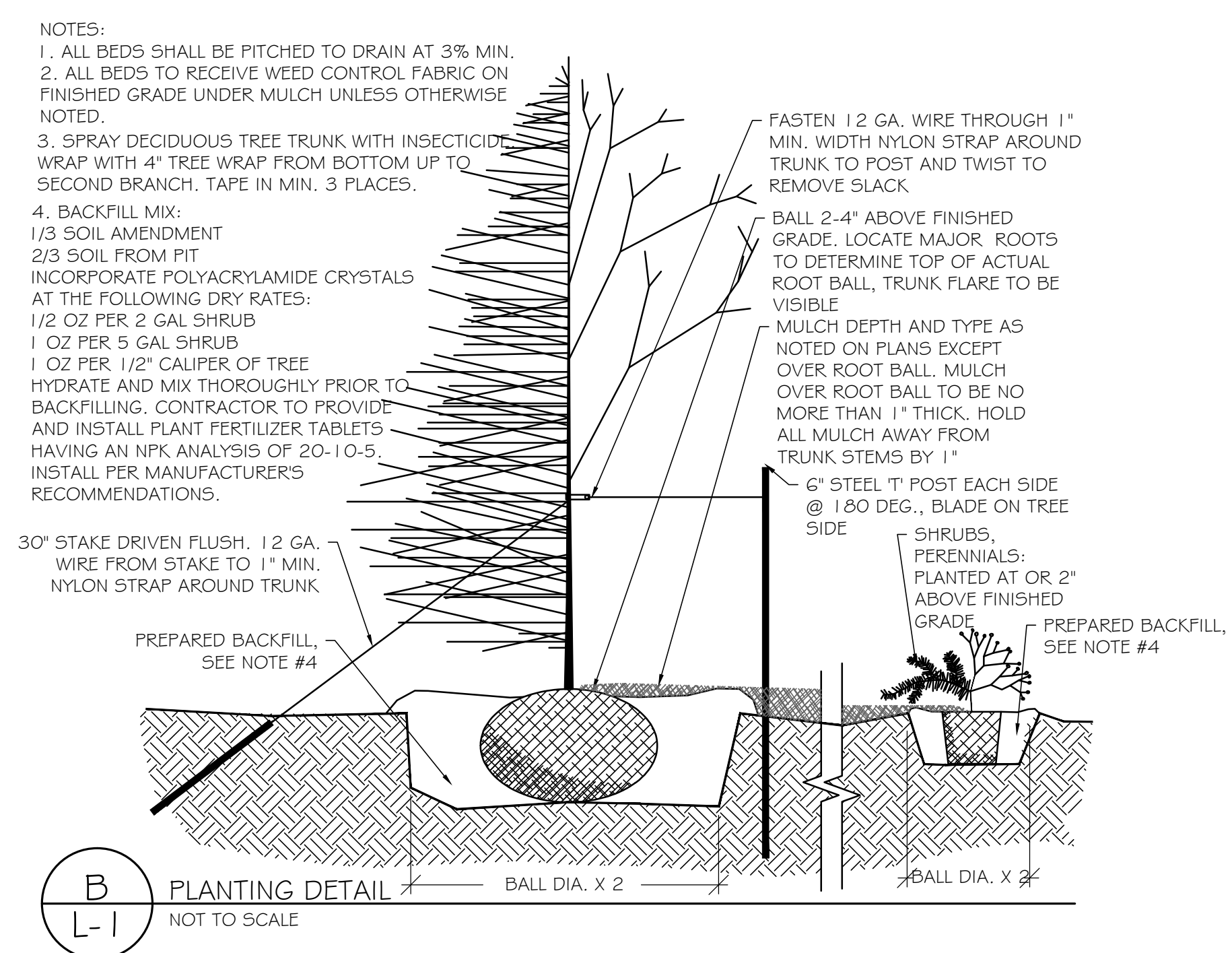
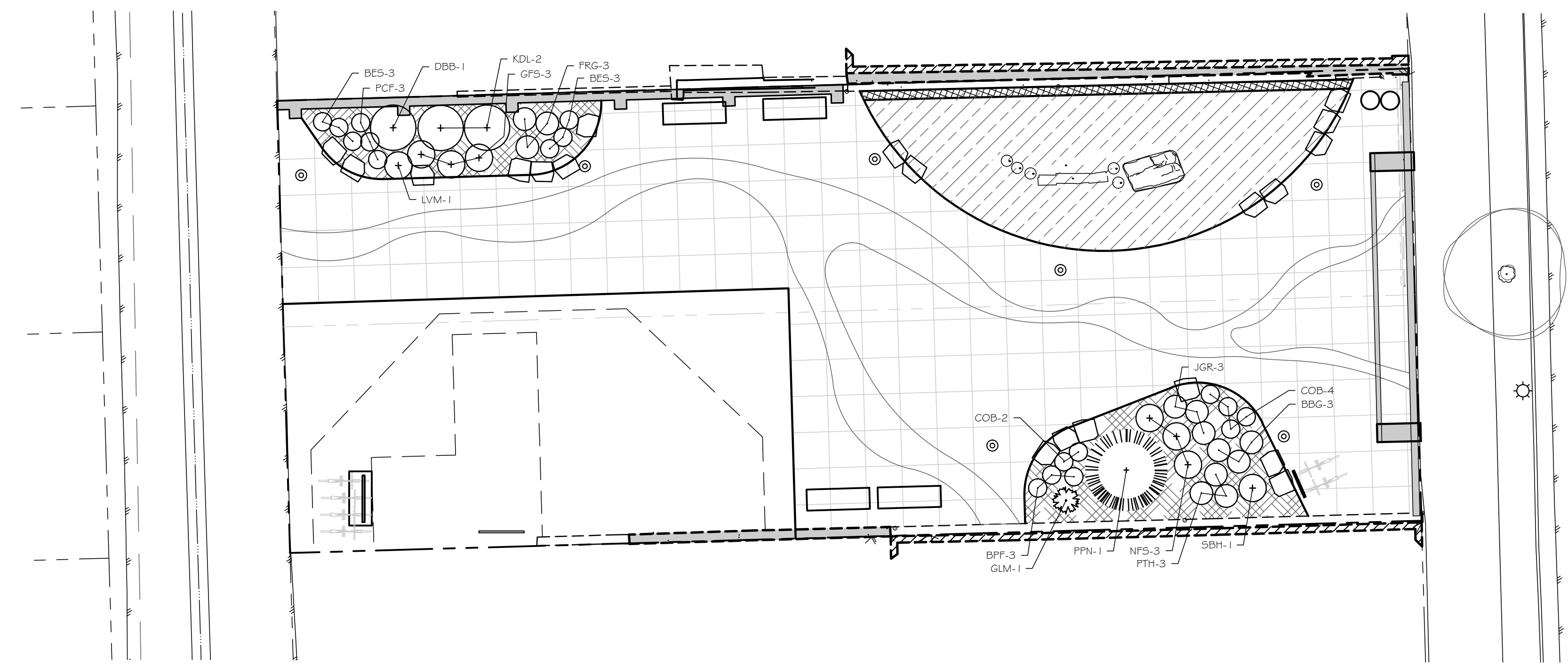
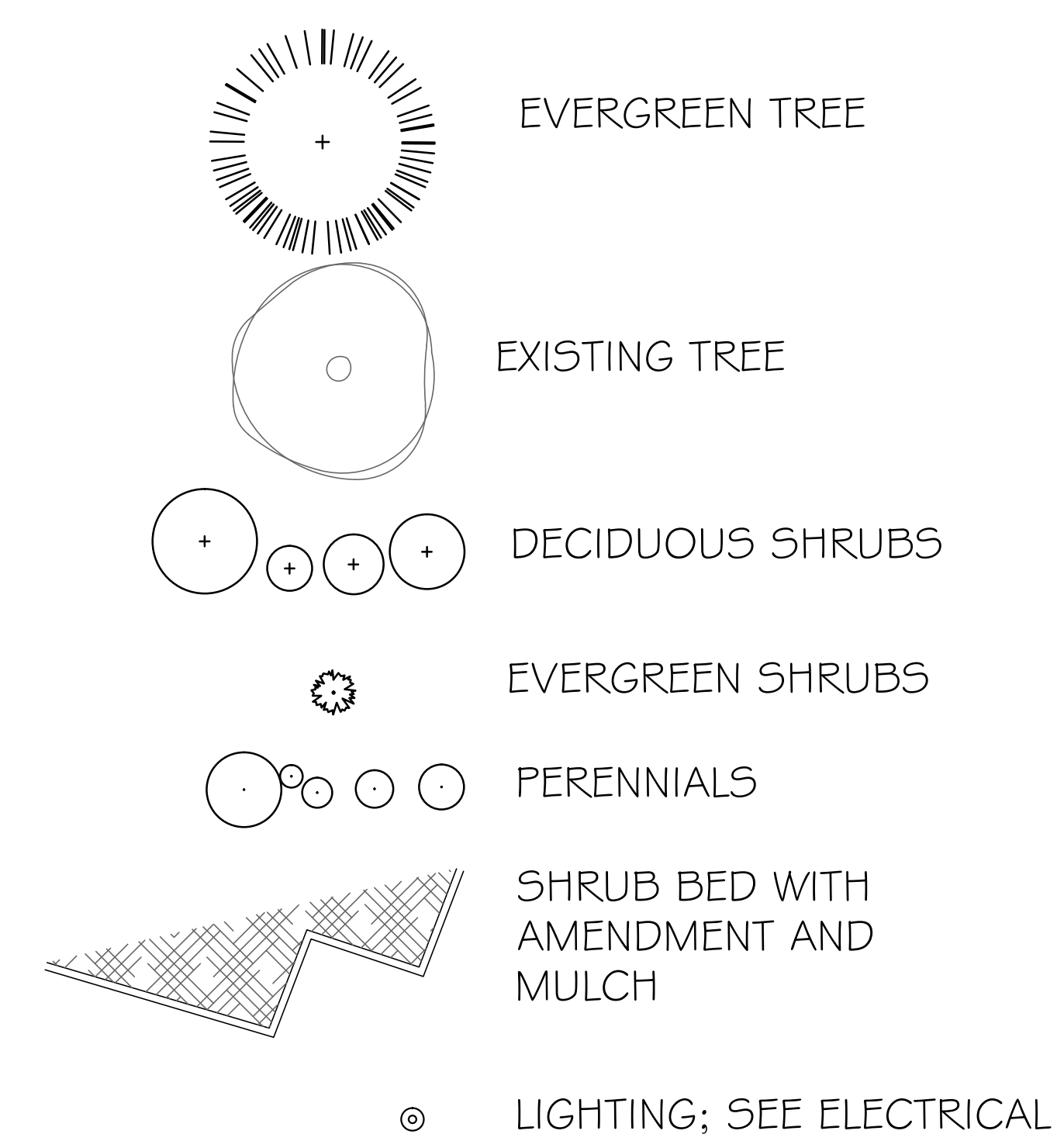
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WEST LEGACY PARK

LANDSCAPE PLAN

SHEET NO.
 L-4

LANDSCAPE LEGEND



PLANTING NOTES

- CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- ALL LANDSCAPING AND IRRIGATION TO CONFORM TO CURRENT ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO STANDARDS AND SPECIFICATIONS.
- EQUAL PART MIXTURE OF ROUND-UP AND 2-4-D DILUTED AS PER MANUFACTURER'S RECOMMENDATIONS SHALL BE APPLIED TO ALL ACTIVELY GROWING WEEDS TWO WEEKS PRIOR TO ANY OPERATIONS.
- ALL SHRUB BEDS TO RECEIVE SOIL AMENDMENT AND 3 INCH DEPTH OF MULCH.
- AREAS TO BE PLANTED (AS PER DRAWINGS) TO RECEIVE SOIL AMENDMENT. REMOVE UNSATISFACTORY MATERIAL (INCLUDING ROAD BASE, ASPHALT, CONCRETE AND TRASH) AND REMOVE FROM SITE. ALL LANDSCAPE AREAS TO RECEIVE 6 YDS/1000 S.F. SOIL AMENDMENT. SCARIFY ALL AREAS TO RECEIVE SOIL AMENDMENT TO A DEPTH OF 6". SOIL AMENDMENT IS TO CONSIST OF 50% GROUND WELL-AGED MANURE, 50% FINELY GROUND AND AGED WOOD CHIPS. AMENDMENT IS TO BE INCORPORATED WITH FERTILIZER BY TILLING AT THE RATE OF 6 CUBIC YARDS/1000 SF INTO ALL SHRUB AREAS.
- SOIL IS TO BE COMPACTED TO 85% MODIFIED PROCTOR (WHEEL ROLL) TO MINIMIZE SETTLING. BEDS ARE TO BE FILLED TO A DEPTH OF 6" ABOVE ADJACENT EDGE OF CURB, SHAPED TO FORM MOUNDED PLANTING AREA. SHRUB BED TO BE FINISHED WITH A 4:1 SLOPE FROM 2" BELOW ADJACENT CONCRETE TO FINISH GRADE. SHRUB BEDS ADJACENT TO BUILDINGS ARE TO DRAIN AWAY FROM BUILDING.
- NO WEED FABRIC TO BE USED IN THIS PROJECT.
- SHRUBS TREES AND PERENNIALS/GRASSES ARE TO SPACED AS SCALED FROM THE PLANTING PLAN.
- MULCH FOR SHRUB BEDS SHALL BE 1" TAN GRANITE. MULCH SHALL BE FREE OF TRASH, STICKS, ROOTS OR OTHER DEBRIS.
- CONTRACTOR IS TO GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF WORK.

NOTE:
 STATE LAW REQUIRES THESE PLANS TO BE PREPARED AND STAMPED BY A LICENSED LANDSCAPE ARCHITECT. SUBSEQUENTLY, ANY CHANGES OR MODIFICATIONS TO THESE PLANS, INCLUDING BUT NOT LIMITED TO LANDSCAPE MATERIAL SUBSTITUTIONS AND/OR RELOCATIONS, MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. FAILURE TO DO SO IS CONSIDERED A CRIMINAL OFFENSE PER CRS 12-45.

PLANT LIST

Qty	Key	Common Name	Scientific Name	Size	Mature Height
Evergreen Trees					
1	PPN	Pinon Pine	<i>Pinus cembroides edulis</i>	6'	10-15'
Deciduous Shrubs					
1	DBB	Dwarf Burning Bush	<i>Euonymus alata 'Compacta'</i>	5 gal	3-5'
3	GFS	Gold Flame Spiraea	<i>Spiraea bumalda 'Gold Flame'</i>	5 gal	1.5-3'
2	KDL	Korean Dwarf Lilac	<i>Syringa meyeri 'Pablin'</i>	5 gal	3-4'
1	LVM	Munstead Lavender	<i>Lavandula 'Munstead'</i>	1 gal	1-2.5'
3	NFS	Neon Flash Spiraea	<i>Spiraea japonica 'Neon Flash'</i>	5 gal	2-3'
1	SBH	All Summer Beauty Hydrangea	<i>Hydrangea macrophylla 'All Summer Beauty'</i>	5 gal	3-5'
Evergreen Shrubs					
1	GLM	Greenleaf Manzanita	<i>Arctostaphylos patula</i>	5 gal	1-2'
Perennials/Ground Covers					
6	BES	Black-eyed Susan	<i>Rudbeckia fulgida 'Goldstrum'</i>	1 gal	1-2'
3	BPF	Blue Pincushion Flower	<i>Scabiosa 'Blue Butterfly'</i>	1 gal	1-2'
6	COB	Coral Bells	<i>Heuchera sanguinea</i>	1 gal	1-2'
3	JGR	Johnson's Blue Geranium	<i>Geranium x himalayense 'Johnson's Blue'</i>	1 gal	1-1.5'
3	PCF	Purple Cone Flower	<i>Echinacea purpurea 'Magnus'</i>	1 gal	1-3'
3	PTH	Patnot Hosta	<i>Hosta 'Patnot'</i>	1 gal	1-2'
Ornamental Grasses					
3	BBG	Blond Ambition Blue Grama Grass	<i>Bouteloua gracilis 'Blond Ambition'</i>	1 gal	2-3'
3	FRG	Feather Reed Grass	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	1 gal	2-4'

NOTES:
 1. PLANT GROWTH CHARACTERISTICS VARY DUE TO ENVIRONMENTAL CONDITIONS, THEREFORE A RANGE OF AVERAGE MATURE HEIGHTS ARE INDICATED.



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ELECTRICAL LEGEND

SERVICE ENTRANCE

- UTILITY METER
MH = 5'-0" TO TOP
- TELEPHONE TERMINAL
MH = 4'-6" TO CENTER
- PAD MOUNTED TRANSFORMER
- MAIN DISTRIBUTION CENTER
- TELEPHONE - OVERHEAD
- POWER - OVERHEAD
- WIREWAY
MH = 5'-6" TO TOP

EQUIPMENT

- PANELBOARD
L1A = DESIGNATION
5'-9" TO TOP
- FUSED DISCONNECT
MH = 4'-6" TO TOP
- IN-GRADE POWER PULLBOX
- IN-GRADE COMMUNICATIONS PULLBOX

ONE LINE DIAGRAM

- FEEDER
2-2" PVC
3 #40
THW - AL
1 #4 GRD
THW - CU
- METER
- PANELBOARD - SEE SCHEDULE
LP1 = DESIGNATION
- CURRENT TRANSFORMER
- FUSED SWITCH
60 AMP 3 POLE FRAME
DEVICE # 12
50
KTRN
- UNFUSED SWITCH
60 AMPS 3 POLE
DEVICE # 12
- CIRCUIT BREAKER
60 AMPS 3 POLE
DEVICE # 12

LIGHTING FIXTURES

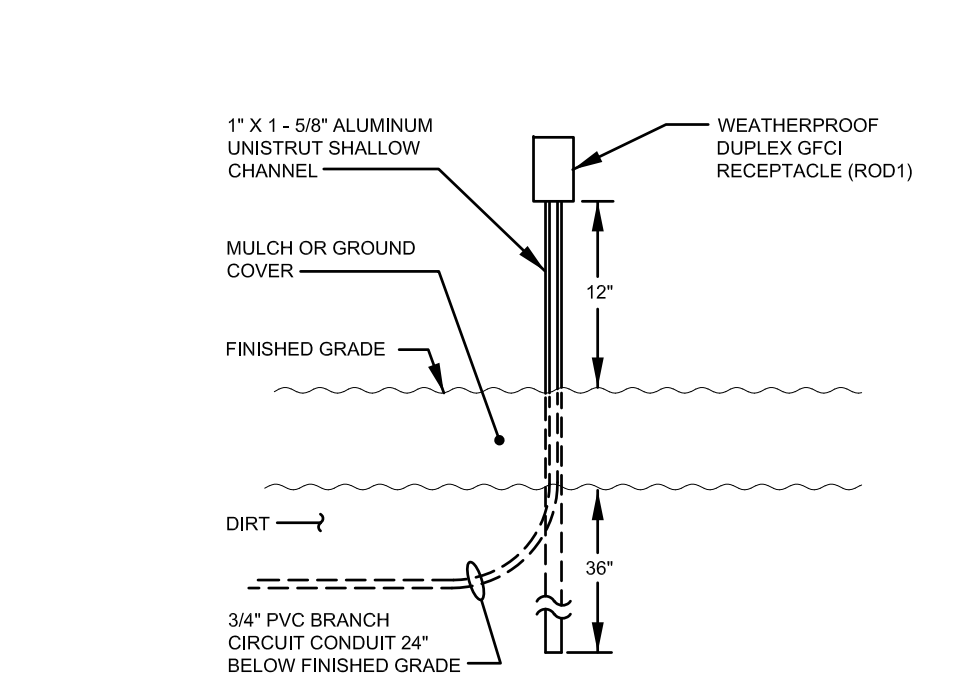
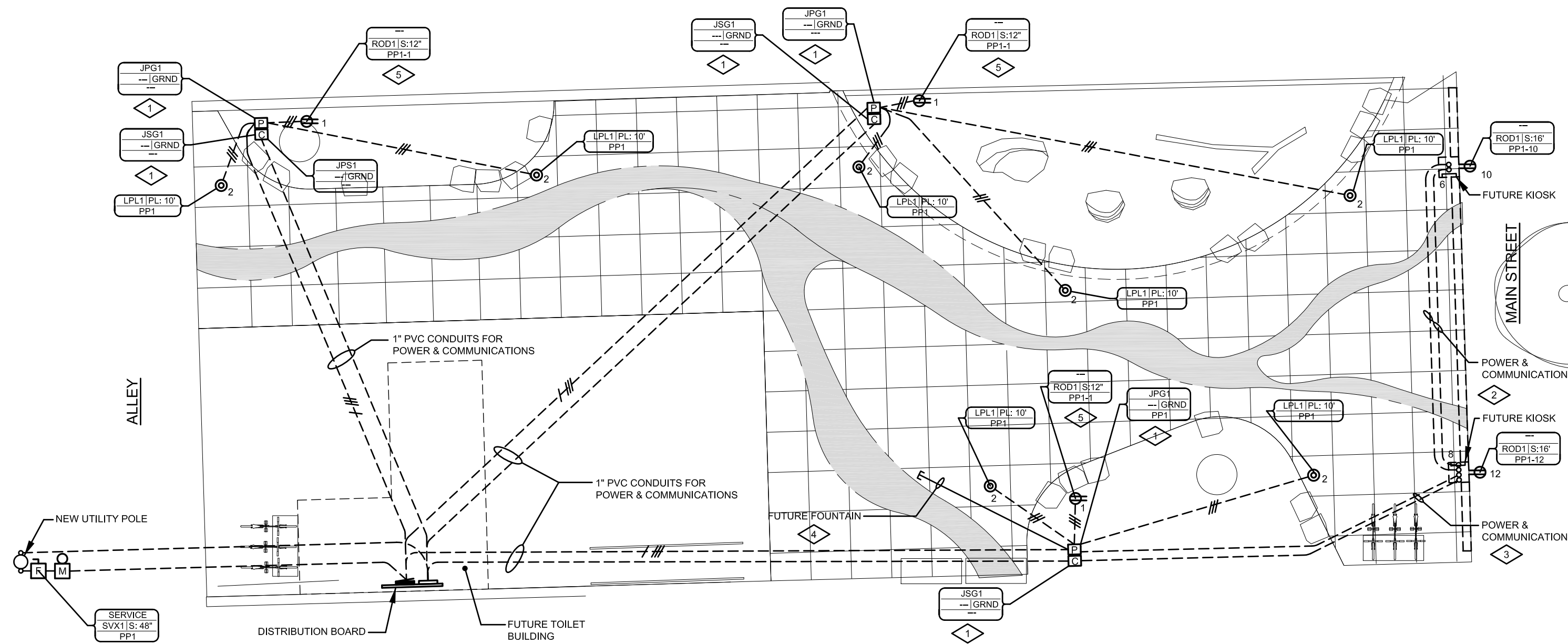
- POLE MOUNTED - SINGLE
- CONDUIT**
- P1-7 CONCEALED ABOVE GRADE
P1-7 = PANEL & CIRCUIT
HACHURES = # OF WIRES
- UNDER FLOOR/UNDERGROUND
- UNDERGROUND DUCTBANK
- FLEX
- HOME RUN
P1-7 = PANEL & CIRCUIT
HACHURES = # OF WIRES
- TURNING UP
- TURNING DOWN
- BUSHED OR CAPPED CONDUIT

ABBREVIATIONS

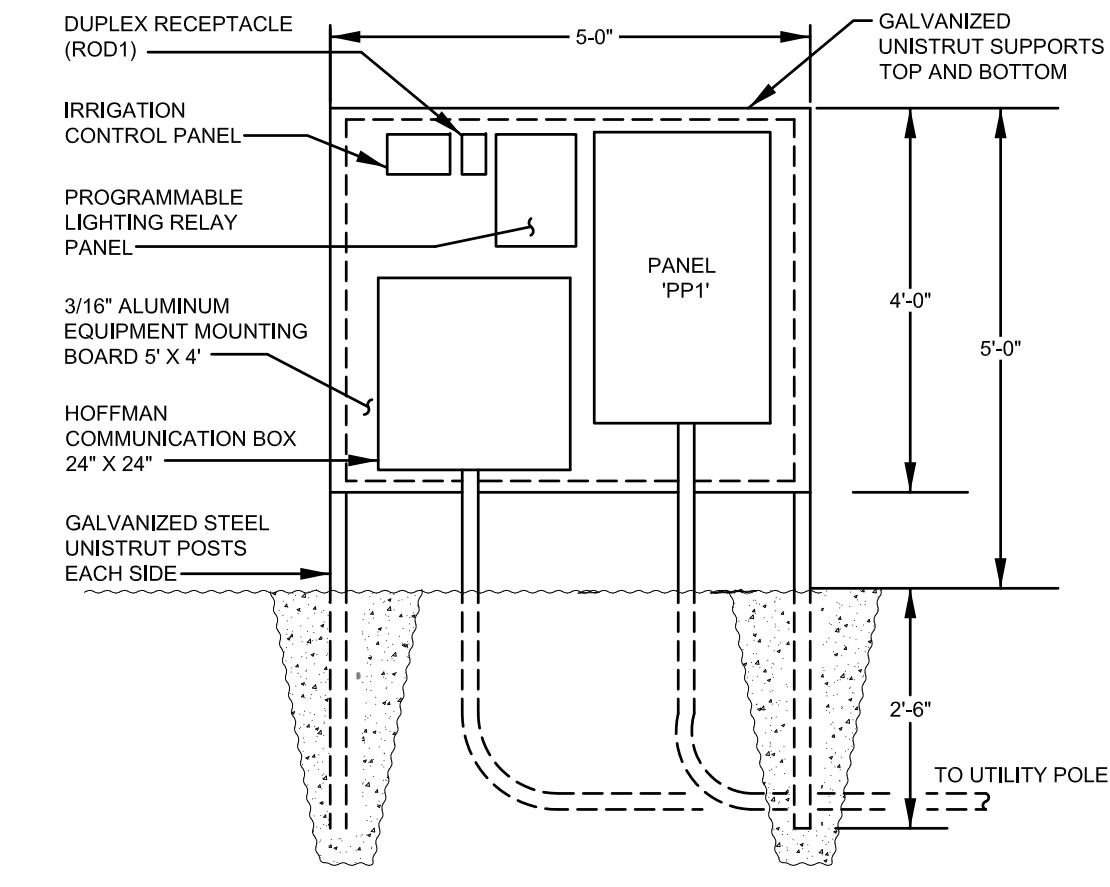
- A AMPERES
- AFF ABOVE FINISHED FLOOR
- AFG ABOVE FINISHED GRADE
- BC BELOW CEILING
- BKR BREAKER
- C CEILING
- DD DUSK TO DAWN
- DTO DUSK TO TIMED OFF
- EM SWITCHED EMERGENCY
- EMT ELECTRICAL METALLIC TUBING
- EN NON-SWITCHED EMERGENCY
- EX EXISTING
- G GROUND FAULT CURRENT INTERRUPTER
- GRC GALVANIZED RIGID CONDUIT
- GRD GROUND
- IG ISOLATED GROUND
- J JUNCTION BOX
- K KEY OPERATED SWITCH
- L SWITCH WITH PILOT LIGHT
- LA LIGHTNING ARRESTOR
- NIC NOT IN CONTRACT
- NL NIGHT LIGHT
- NTS NOT TO SCALE
- O OCCUPANCY SENSING SWITCH
- PVC POLYVINYL CHLORIDE
- R MOUNTED ON ROOF
- W WEATHERPROOF
- WG WEATHERPROOF/GFCI

GENERAL SYMBOLS

- EQUIPMENT
AC-1 = DESIGNATION - SEE SCHEDULE
- FLAG NOTE
- REVISION
- ROOM NUMBER
- SECTION MARK
A = SECTION DESIGNATION
E1 = REFERENCE DRAWING



RECEPTACLE MOUNTING DETAIL
SCALE: 1/4" = 1'-0"



DISTRIBUTION MOUNTING BOARD
SCALE: 1/2" = 1'-0"

WIRING DEVICES SCHEDULE

DEVICE DESCRIPTION	MANUFACTURER: HIGHLINE PRODUCTS	BOX / RING / COVER	ADDITIONAL DESCRIPTION
JPG1 GROUND MOUNTED POWER J-BOX	CATALOG #: 1015-1G2G COLOR: GRAY RATING: NA / NA STYLE: SLOPED SIDED NEMA CONFIGURATION: --- GRADE: NON-TRAFFIC RATED MOUNTING: IN-GRADE LOCATION: -20F TO 120F & WET	BOX SIZE & DEPTH: 10" X 15" X 12" BOX OPENINGS: 1" BOX MATERIAL: HDPE (PLASTIC) BOX NEMA RATING: TYPE 3R RING SIZE & OPENING: NR / NR RING COLAR DEPTH: RING NOT REQUIRED RING MATERIAL: RING NOT REQUIRED COVER MATERIAL: HDPE (PLASTIC) COVER COLOR & OPENING: GREEN / 10" X 15"	JPG1: GROUND MOUNTED POWER J-BOX PROVIDE THE SPECIFIED DEVICE OR AN EQUIVALENT DEVICE BY PLATT OR OLDCAST OR SUBMIT A CUT SHEET FOR AN ALTERNATE DEVICE 5 DAYS PRIOR TO BID. COVER MARKING: POWER
JSG1 GROUND MOUNTED SIGNAL J-BOX	CATALOG #: 1015-1G2G COLOR: GRAY RATING: NA / NA STYLE: SLOPED SIDED NEMA CONFIGURATION: --- GRADE: NON-TRAFFIC RATED MOUNTING: IN-GRADE LOCATION: -20F TO 120F & WET	BOX SIZE & DEPTH: 10" X 15" X 12" BOX OPENINGS: 1" BOX MATERIAL: HDPE (PLASTIC) BOX NEMA RATING: TYPE 3R RING SIZE & OPENING: NR / NR RING COLAR DEPTH: RING NOT REQUIRED RING MATERIAL: RING NOT REQUIRED COVER MATERIAL: HDPE (PLASTIC) COVER COLOR & OPENING: GREEN / 10" X 15"	JSG1: GROUND MOUNTED SIGNAL J-BOX PROVIDE THE SPECIFIED DEVICE OR AN EQUIVALENT DEVICE BY PLATT OR OLDCAST OR SUBMIT A CUT SHEET FOR AN ALTERNATE DEVICE 5 DAYS PRIOR TO BID. COVER MARKING: TELEPHONE
ROD1 DUPEX OUTDOOR GFCI RECEPTACLE	MANUFACTURER: LEVITON CATALOG #: W7899 COLOR: WHITE RATING: 20A STYLE: DECORA NEMA CONFIGURATION: 5-20R GRADE: COMMERCIAL MOUNTING: SURFACE LOCATION: -20F TO 120F & WET	BOX SIZE & DEPTH: 2 GANG / 2-1/8" BOX OPENINGS: 1/2" & 3/4" KO'S BOX MATERIAL: PRESSED STEEL BOX NEMA RATING: TYPE 3R RING SIZE & OPENING: 2 GANG / 1 GANG RING COLAR DEPTH: 5/8" RING MATERIAL: PRESSED STEEL COVER MATERIAL: CAST ALUMINUM COVER COLOR & OPENING: SILVER / DECORA	ROD1: DUPEX OUTDOOR GFCI RECEPTACLE PROVIDE THE SPECIFIED DEVICE OR AN EQUIVALENT DEVICE BY HUBBELL OR PASS & SEYMOUR OR SUBMIT A CUT SHEET FOR AN ALTERNATE DEVICE 5 DAYS PRIOR TO BID. PROVIDE LOCKABLE METAL IN-USE COVER AND CORROSION RESISTANT DEVICE.
SVX1 EXTERIOR MOUNTED FUSED SERVICE SWITCH	MANUFACTURER: SQUARE D CATALOG #: H224NRB COLOR: GRAY RATING: 200A 2-POLE STYLE: HEAVY DUTY NEMA CONFIGURATION: --- GRADE: INDUSTRIAL MOUNTING: SURFACE LOCATION: -20F TO 120F & WET	BOX SIZE & DEPTH: 7-25" W X 9-63" H / 3-75" D BOX OPENINGS: 1/2" & 3/4" KO'S BOX MATERIAL: PRESSED STEEL BOX NEMA RATING: TYPE 3R RING SIZE & OPENING: --- / --- RING COLAR DEPTH: --- RING MATERIAL: --- COVER MATERIAL: --- COVER COLOR & OPENING: --- / ---	SVX1: EXTERIOR MOUNTED FUSED SERVICE SWITCH PROVIDE THE SPECIFIED DEVICE OR AN EQUIVALENT DEVICE BY SIEMENS OR G.E. OR SUBMIT A CUT SHEET FOR AN ALTERNATE DEVICE 5 DAYS PRIOR TO BID. MOUNT ON UTILITY SERVICE POLE WITH METER SOCKET.

LIGHTING SCHEDULE

LIGHTING FIXTURE DESCRIPTION	MANUFACTURER: ARCHITECTURAL AREA LTG	LAMP	BALLAST / DRIVER	ADDITIONAL FIXTURE DESCRIPTION
LPL1 L. E. D. PARKING LOT MOUNTING POLE WIDTH: PROJECTION: 11.6" FIXTURE HEIGHT: 19.44" FIXTURE LENGTH: 11.6" APERTURE: 11 IN ROUND	CATALOG # 1ST HALF: PROS- Y5-2040 CATALOG # 2ND HALF: -BL-AD4-PCA-C HOUSING: BLACK ALUMINUM ELECTRICAL RATING: 25 WATTS 120 VOLTS DIFFUSER: CLEAR GLASS REFLECTOR: HYDROFORMED ENVIRONMENT: -20F TO 120 DEG F & WET AIMING: CUT-OFF	MANUFACTURER: SELECTED BY FIXTURE MANUFACTURER QUANTITY: 1 INITIAL LUMENS PER LAMP: 1894 COLOR RENDERING INDEX: >=80 COLOR TEMPERATURE: 4000 DEGREES K RATED LIFE: >= 100,000 HOURS NOMINAL WATTS: 25 ENVIRONMENT: -20F TO 120 DEG F & WET LAMP TYPE: L. E. D.	MANUFACTURER: SELECTED BY FIXTURE MANUFACTURER QUANTITY: 1 BALLAST FACTOR: >=1.00 POWER FACTOR: >=90 HARMONICS: <=20% TYPE: OUTDOOR WEATHERPROOF STARTING: INSTANT ENVIRONMENT: -20F TO 120 DEG F & WET BATTERY BACK-UP: BATTERY NOT REQUIRED	LPL1: L. E. D. PARKING LOT FIXTURE. THIS FIXTURE IS TO HAVE A 9 FOOT STRAIGHT ROUND PAINTED STEEL POLE. PROVIDE THE SPECIFIED FIXTURE OR AN EQUIVALENT FIXTURE BY COOPER LIGHTING OR LITHONIA OR SUBMIT A CUT SHEET & CATALOG NUMBER FOR AN ALTERNATE FIXTURE AND RECEIVE WRITTEN APPROVAL 5 DAYS PRIOR TO BID. THIS FIXTURE IS TO HAVE A TYPE V CUT-OFF DISTRIBUTION. PROVIDE WITH PHOTOCCELL.

GENERAL NOTES:

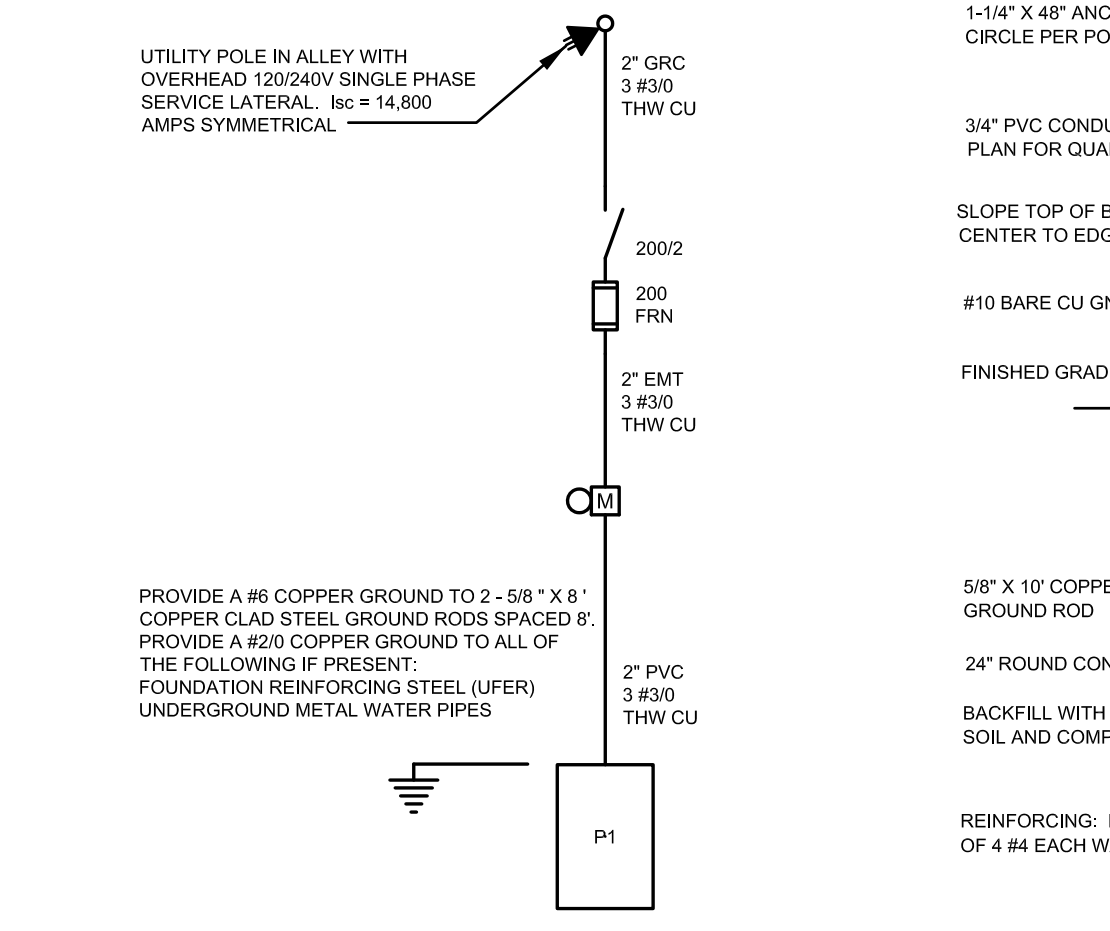
- PROVIDE SPECIFIED FIXTURES. EQUIVALENT FIXTURES BY A LISTED ALTERNATE MANUFACTURER OR SUBMIT FIXTURE CUTS FOR APPROVAL 5 DAYS PRIOR TO THE BID DATE.
- IF THE FIXTURE CATALOG NUMBER CONFLICTS WITH THE FIXTURE DESCRIPTION, THE FIXTURE DESCRIPTION TAKES PRECEDENCE.
- THE FIXTURE MANUFACTURER SHALL SUPPLY LAMPS AND ALL MOUNTING ACCESSORIES NECESSARY FOR THE INSTALLATION OF HIS FIXTURES.
- SUBMIT AND RECEIVE APPROVAL FROM THE ENGINEER FOR ALL LIGHT FIXTURES, BALLASTS, AND BACK-UP BATTERIES PRIOR TO RELEASING FIXTURES FOR MANUFACTURE.
- THE COLOR OF ALL EXTERIOR LIGHTING FIXTURE HOUSINGS BE THE SAME. CALL DISCREPANCIES IN THE SCHEDULE TO THE ENGINEER'S ATTENTION PRIOR TO RELEASING FIXTURES FOR MANUFACTURE.

GENERAL SITE NOTES:

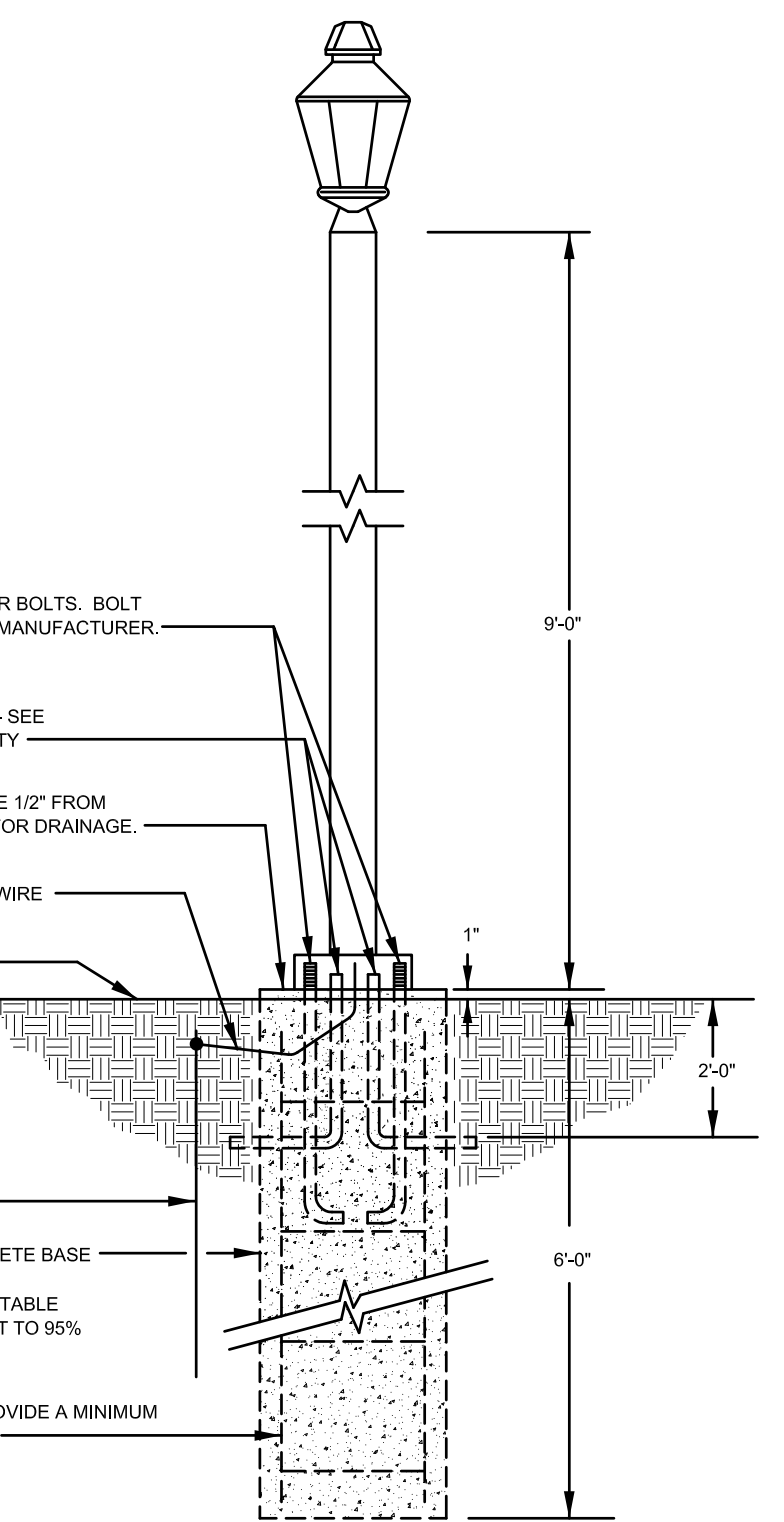
- PROVIDE A SEPARATE GREEN INSULATED GROUND WIRE SIZE PER NATIONAL ELECTRICAL CODE TABLE 250.122 IN ALL BRANCH CIRCUIT AND FEEDER RACEWAYS CONTAINING POWER CONDUCTORS. GROUND WIRE IS NOT INCLUDED IN HACHURE COUNT ON DRAWINGS.
- ALL RACEWAYS INSTALLED UNDERGROUND, OR UNDER THE BUILDING SHALL BE NO SMALLER THAN 3/4". ALL CONDUCTORS INSTALLED UNDERGROUND OR UNDER THE BUILDING SHALL BE NO SMALLER THAN #12.
- FOR 120 VOLT BRANCH CIRCUITS EXCEEDING 75', INCREASE WIRE SIZE TO #10, AND INCREASE RACEWAY SIZE TO 1".
- MOUNTING HEIGHTS SHOWN ON THE PLANS TAKE PRECEDENCE OVER DEFAULT MOUNTING HEIGHTS SHOWN IN THE LEGEND.
- ALL CONDUITS SHALL BE BURIED A MINIMUM OF 24" BELOW FINISHED GRADE. BED CONDUITS 6" BELOW AND 6" ABOVE IN LOCAL MATERIAL WITH NO ROCKS LARGER THAN 1" IN DIAMETER, OR IMPORT SAND IF ACCEPTABLE LOCAL MATERIAL IS UNAVAILABLE. PLACE WARNING TAPE 1'-0" ABOVE ALL BURIED CONDUITS. SEPARATE POWER AND COMMUNICATIONS CONDUITS A MINIMUM OF 18" TO AVOID ELECTROMAGNETIC INTERFERENCE.
- SEE SPECIFICATIONS FOR ADDITIONAL CONSTRAINTS ON POWER AND COMMUNICATIONS SERVICES, AND OUTSIDE BRANCH CIRCUITS AND FEEDERS.

NOTES REFERENCED ON THE PLANS

- BED EACH POWER AND COMMUNICATIONS PULL BOX IN 0.5 CUBIC FEET OF FEA GRAVEL FOR DRAINAGE.
- STUB A 3/4" PVC POWER AND A 1" PVC COMMUNICATIONS CONDUIT FROM THE BOX-OUT FOR THE FUTURE KIOSK IN THE SOUTH POLE OF THE ENTRY STRUCTURE BOX-OUT FOR THE FUTURE KIOSK IN THE NORTH POLE OF THE ENTRY STRUCTURE. EXTEND A 3/4" PVC POWER CONDUIT FROM THE KIOSK BOX-OUT TO THE TOP OF THE ENTRY STRUCTURE FOR A DUPEX RECEPTACLE FOR FUTURE LIGHTS.
- STUB A 3/4" PVC POWER AND A 1" PVC COMMUNICATIONS CONDUIT TO THE ENTRY STRUCTURE AND EXTEND UP TO THE LOCATION OF THE BOX-OUT FOR THE FUTURE KIOSK. EXTEND A 3/4" PVC POWER CONDUIT FROM THE KIOSK BOX-OUT TO THE TOP OF THE ENTRY STRUCTURE FOR A DUPEX RECEPTACLE FOR FUTURE LIGHTS.
- STUB A 3/4" PVC POWER CONDUIT UP AT THE LOCATION OF THE FUTURE FOUNTAIN. CONFIRM LOCATION WITH MIKE KONN PRIOR TO INSTALLATION.
- CONFIRM LOCATION OF POWER OUTLETS WITH MIKE KONN PRIOR TO ROUGH-IN. HE MAY WANT THEM INSTALLED ON WALLS RATHER THAN IN THE PLANTERS.



ONE LINE DIAGRAM
NO SCALE



FLUSH LIGHT POLE BASE
NO SCALE

DRAWN BY KLT
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JOB NO. 1942/19019
DATE 03-12-2020
REVISIONS

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WEST LEGACY PARK PHASE I

SITE PLAN SCHEDULES AND DETAILS

SHEET NO. **E001**



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 JOB NO. 1918
 DATE 4/16/2020
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 327 MAIN STREET

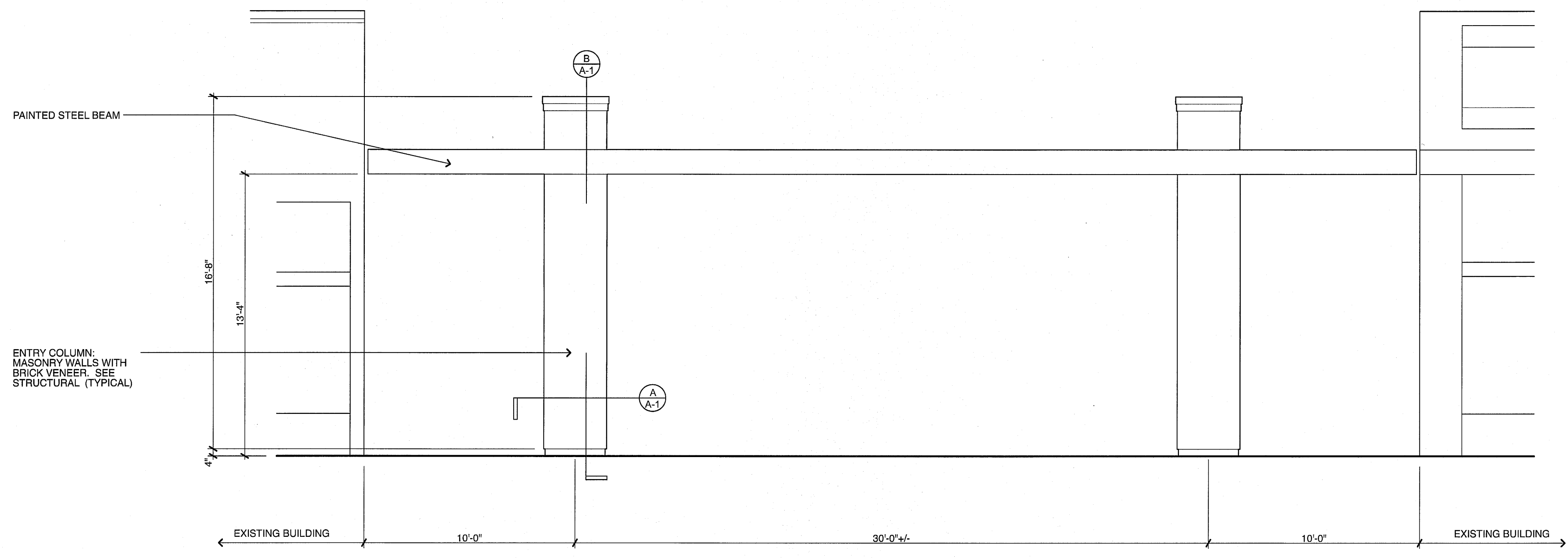
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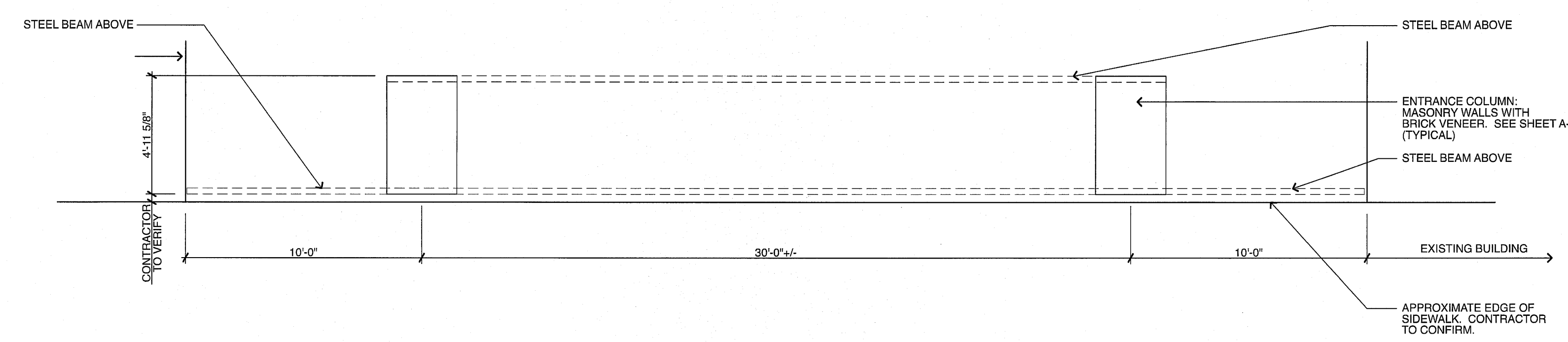
WEST LEGACY PARK

PARK ENTRANCE ELEVATION
 PARK ENTRANCE PLAN
 ENTRY COLUMN PLAN DETAIL
 ENTRY COLUMN SECTION

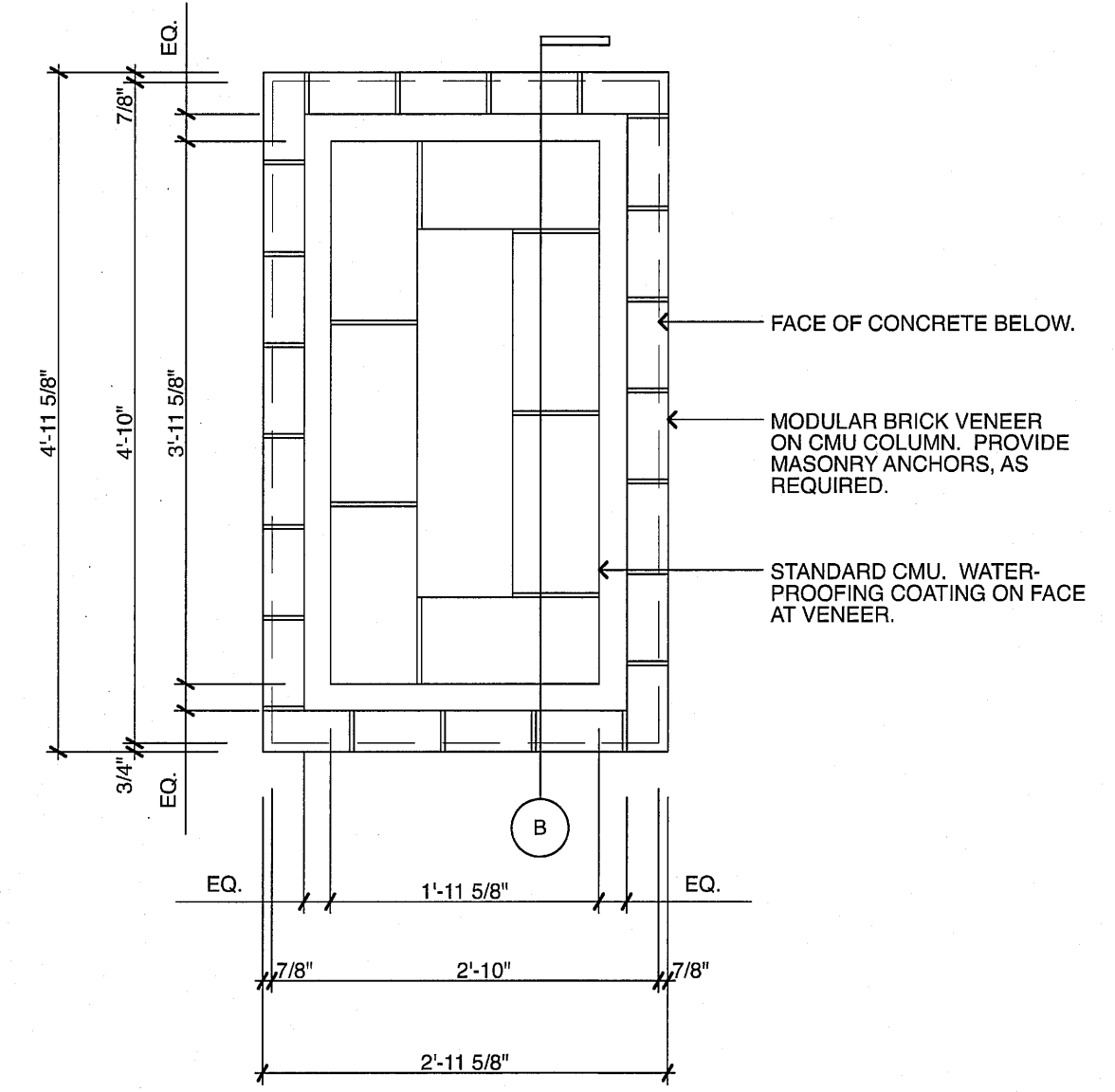
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A-1



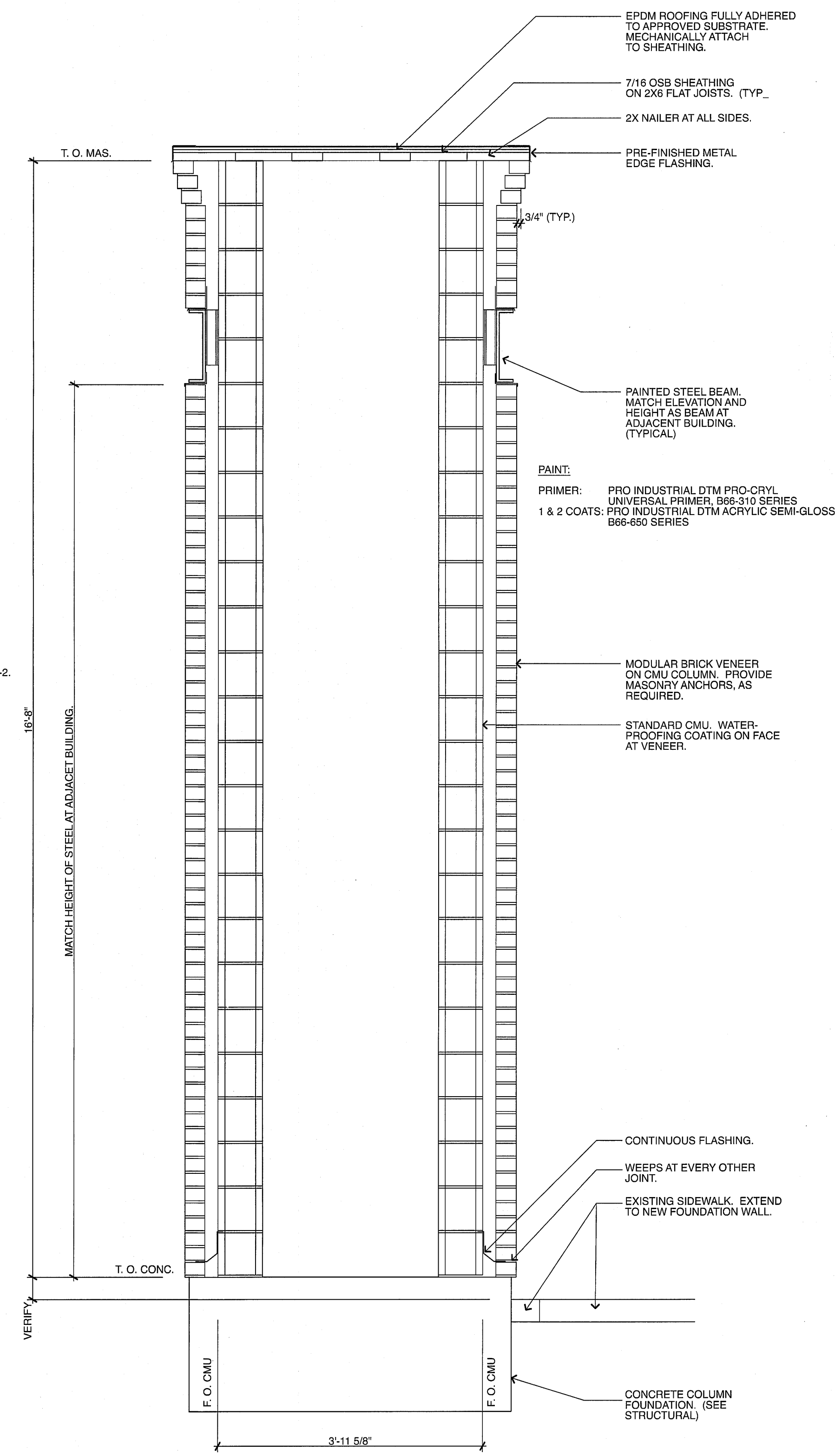
PARK ENTRANCE - ELEVATION
 1/4" = 1'-0"



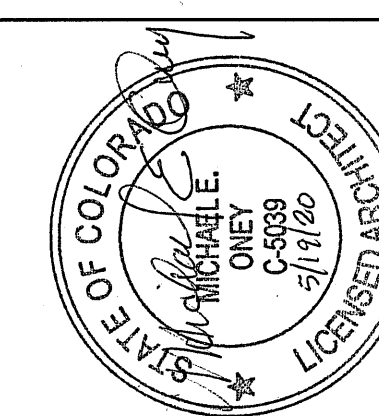
PARK ENTRANCE - PLAN
 1/4" = 1'-0"



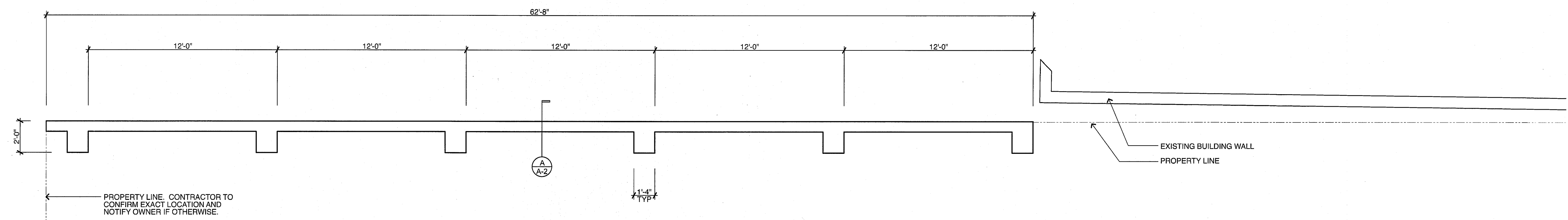
A ENTRY COLUMN PLAN DETAIL
 3/4" = 1'-0"



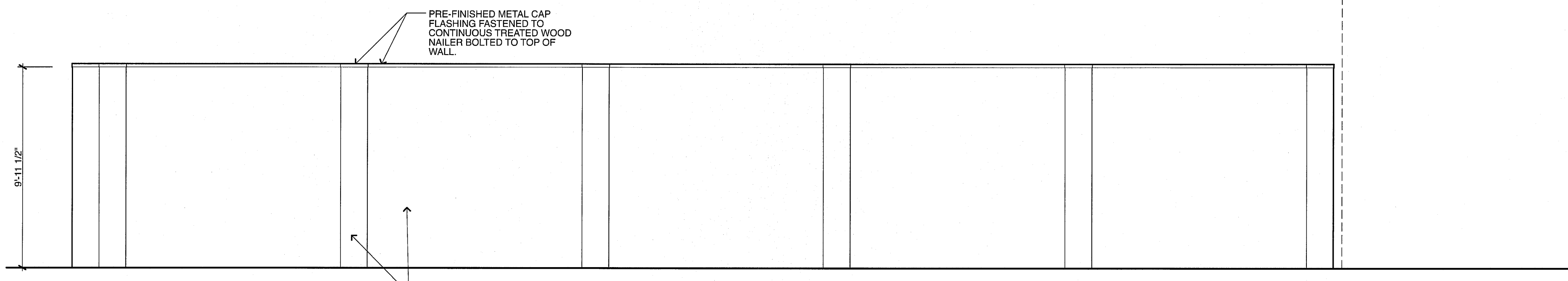
B ENTRY COLUMN SECTION
 3/4" = 1'-0"



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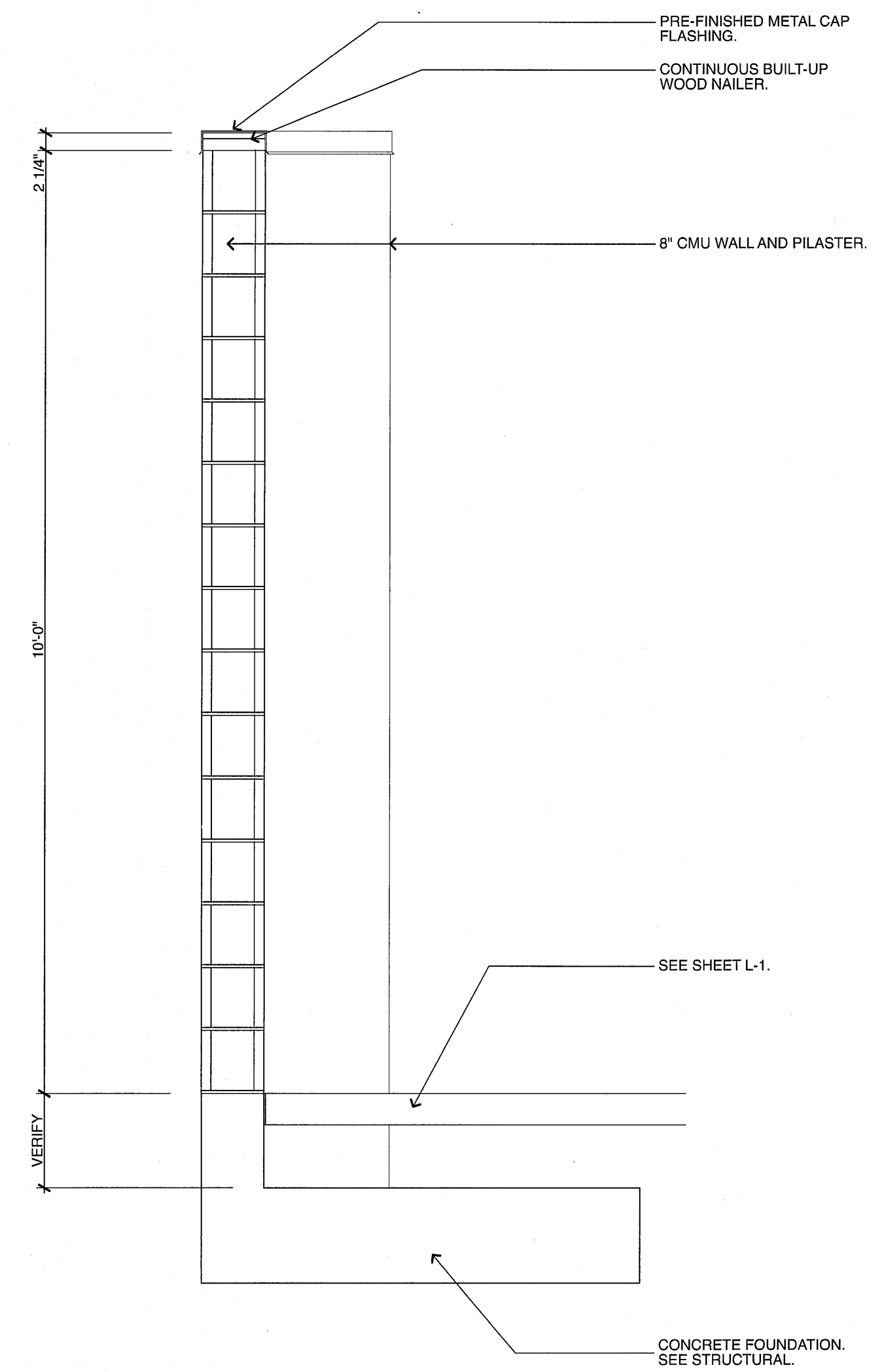


PARTIAL SITE PLAN
 1/4" = 1'-0"



8" CMU WALL AND PILASTERS:
 • 8" X 16" X 8" (NOMINAL)
 • GROUND FACE CMU BLOCK, AS MANUFACTURED BY THE BRICKYARD, GRAND JUNCTION, CO, OR APPROVED EQUIVALENT.
 • IWR ADDITIVE
 • TREAT WITH ANTI-GRAFFITI TREATMENT: 353 OMEGASEAL WATER REPELLANT, BY DIETRICH TECHNOLOGIES
 • COLOR TO BE DETERMINED BY OWNER. CONTRACTOR TO PROVIDE SAMPLES.

NORTH SITE WALL ELEVATION
 1/4" = 1'-0"



A WALL SECTION
 3/4" = 1'-0"

WEST LEGACY PARK
 DELTA, COLORADO
 327 MAIN STREET

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WEST LEGACY PARK

PARTIAL SITE PLAN
 NORTH WALL ELEVATION
 WALL SECTION

SHEET NO.
A-2

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DELTA, COLORADO

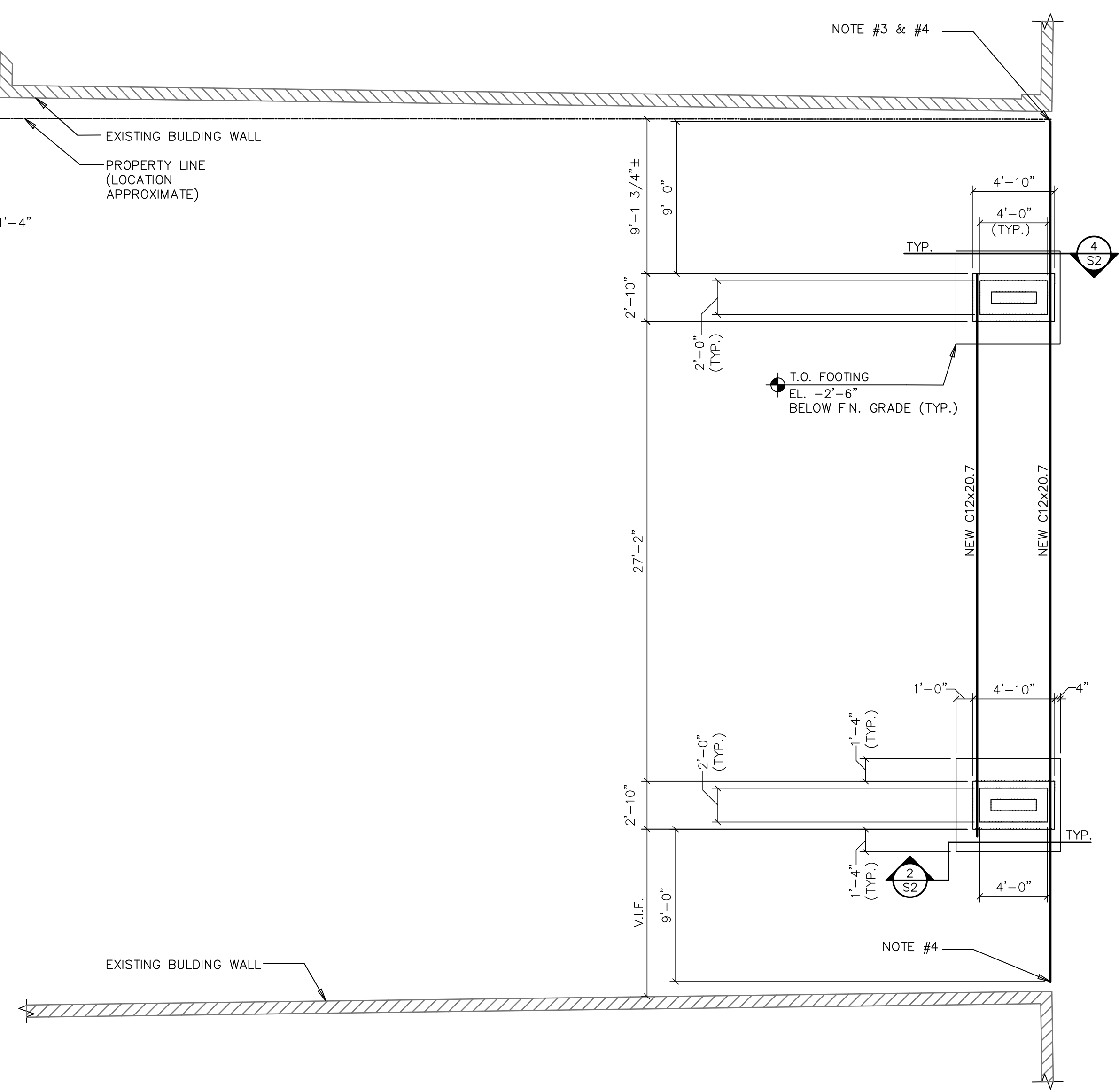
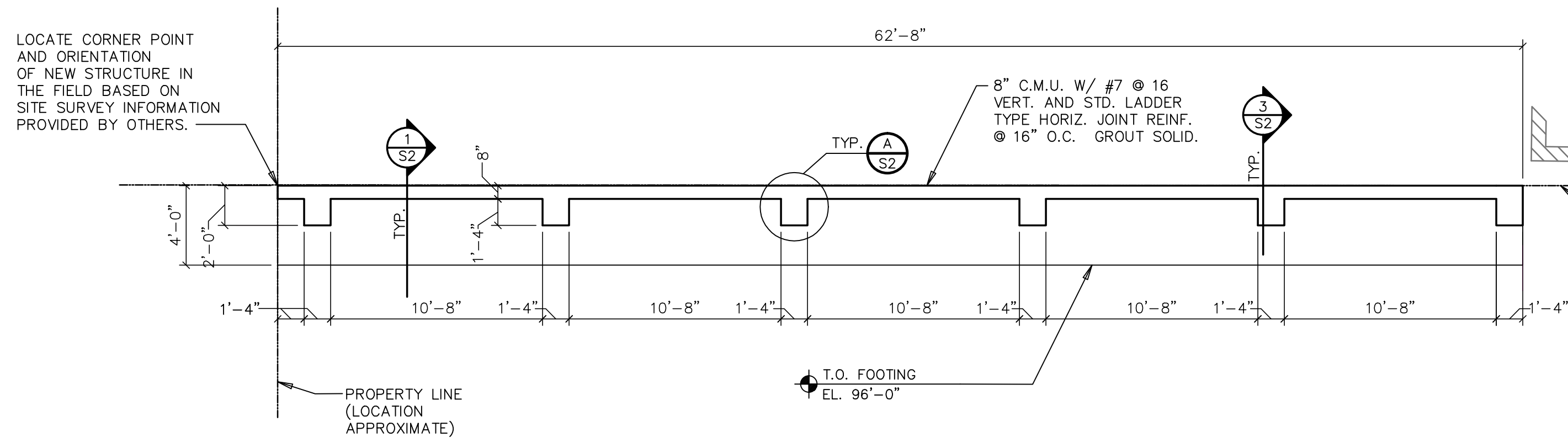
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WEST LEGACY PARK

FOUNDATION PLAN

SHEET NO.
S-1



FOUNDATION & FRAMING PLAN 3/16"=1'-0" NORTH

1. VERIFY EXISTING DIMENSIONS & CONDITIONS IN FIELD PRIOR TO CONSTRUCTION.
2. VERIFY LOCATIONS OF NEW NORTH SCREEN WALL AND EAST ENTRY COLUMNS AGAINST LANDSCAPE DRAWINGS AND EXISTING SITE CONDITIONS.
3. REMOVE EXISTING STEEL BEAM SOUTH OF EXISTING STRUCTURE, AND PATCH THE EXISTING MASONRY.
4. PROVIDE MINIMUM 1" CLEAR DISTANCE FROM THE END OF THE NEW STEEL BEAM TO EXISTING BUILDINGS ON THE NORTH AND SOUTH ENDS. DO NOT EXTEND THE NEW STEEL BEAM PAST THE PROPERTY LINE.

Lindauer-Dunn, Inc.
 STRUCTURAL ENGINEERS
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 Grand Junction, CO 81501
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 FAX: 970-243-2430
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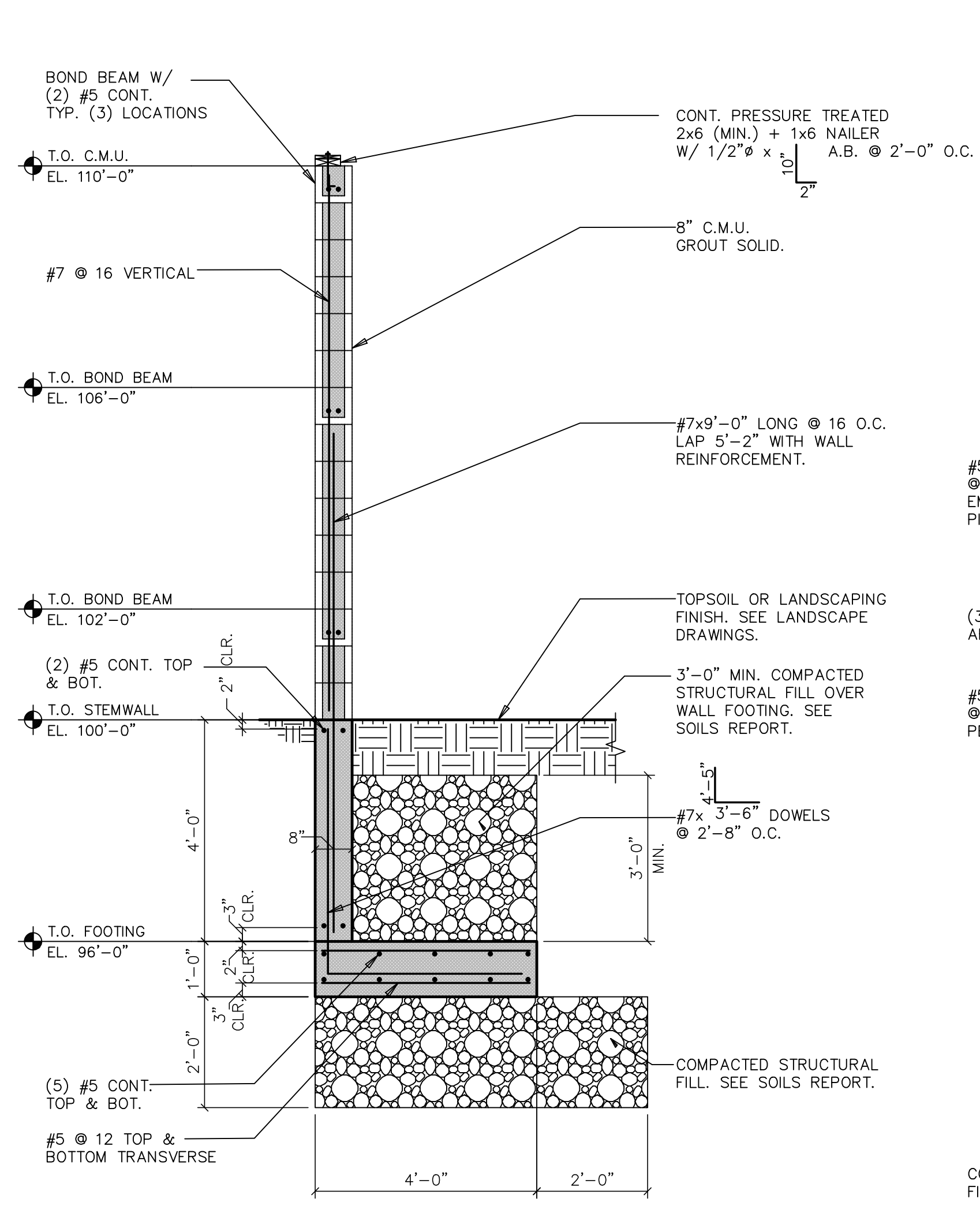
CIAVONNE, ROBERTS & ASSOCIATES, INC.
 LAND PLANNING AND
 LANDSCAPE ARCHITECTURE
 222 N. 7TH STREET
 GRAND JUNCTION, CO 81501
 970-241-0745 P
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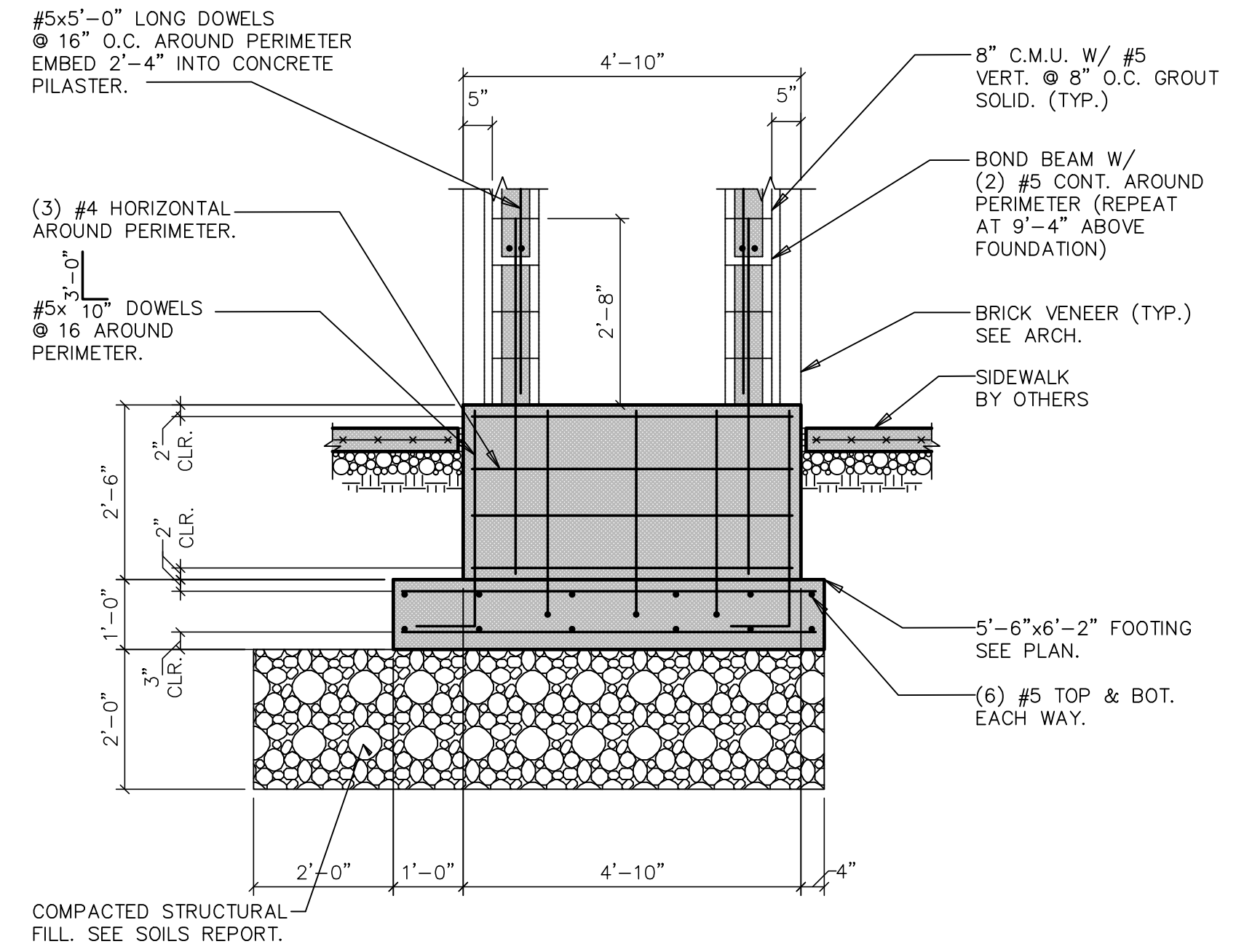
WEST LEGACY PARK

SECTIONS AND DETAILS

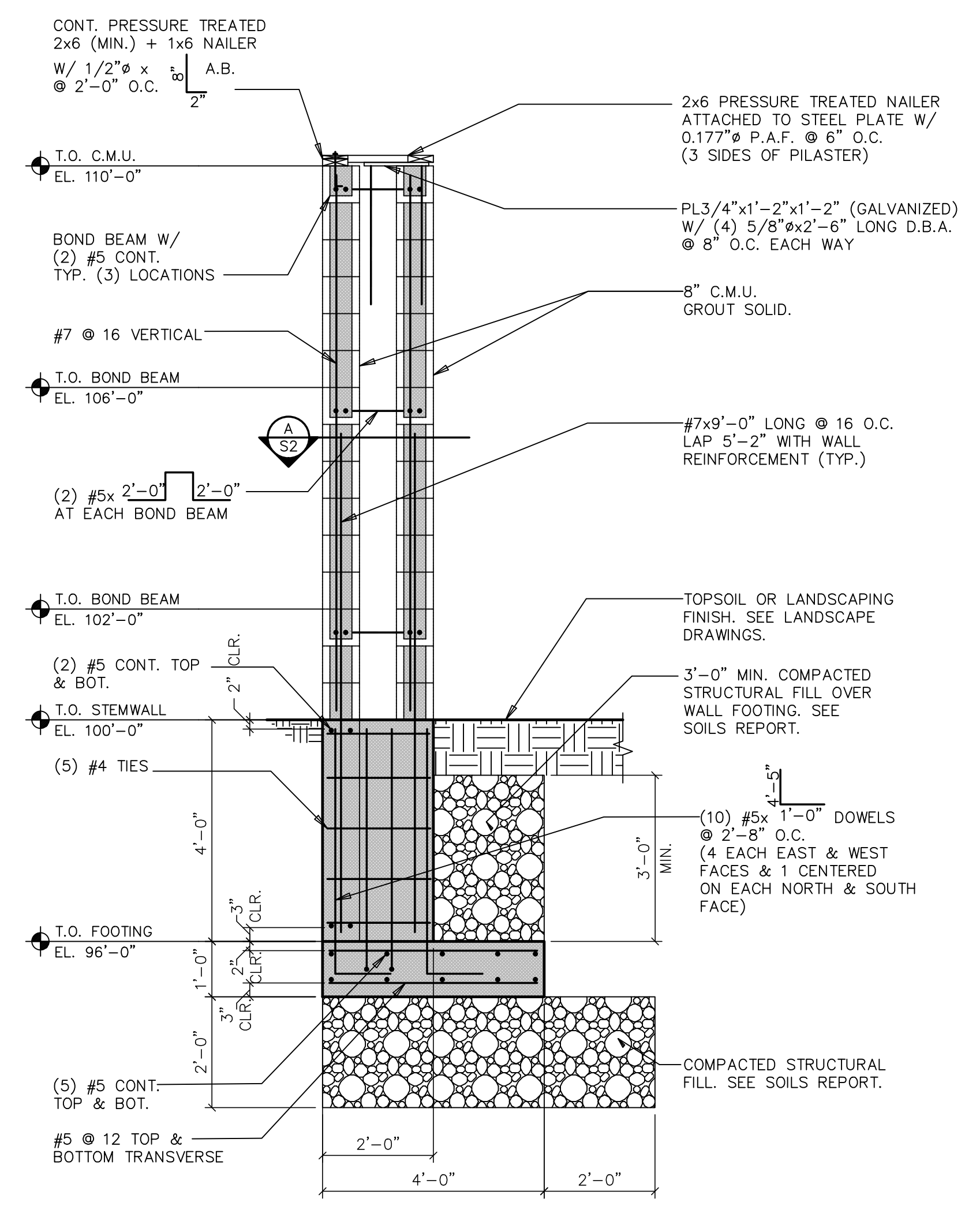
SHEET NO.
S-2



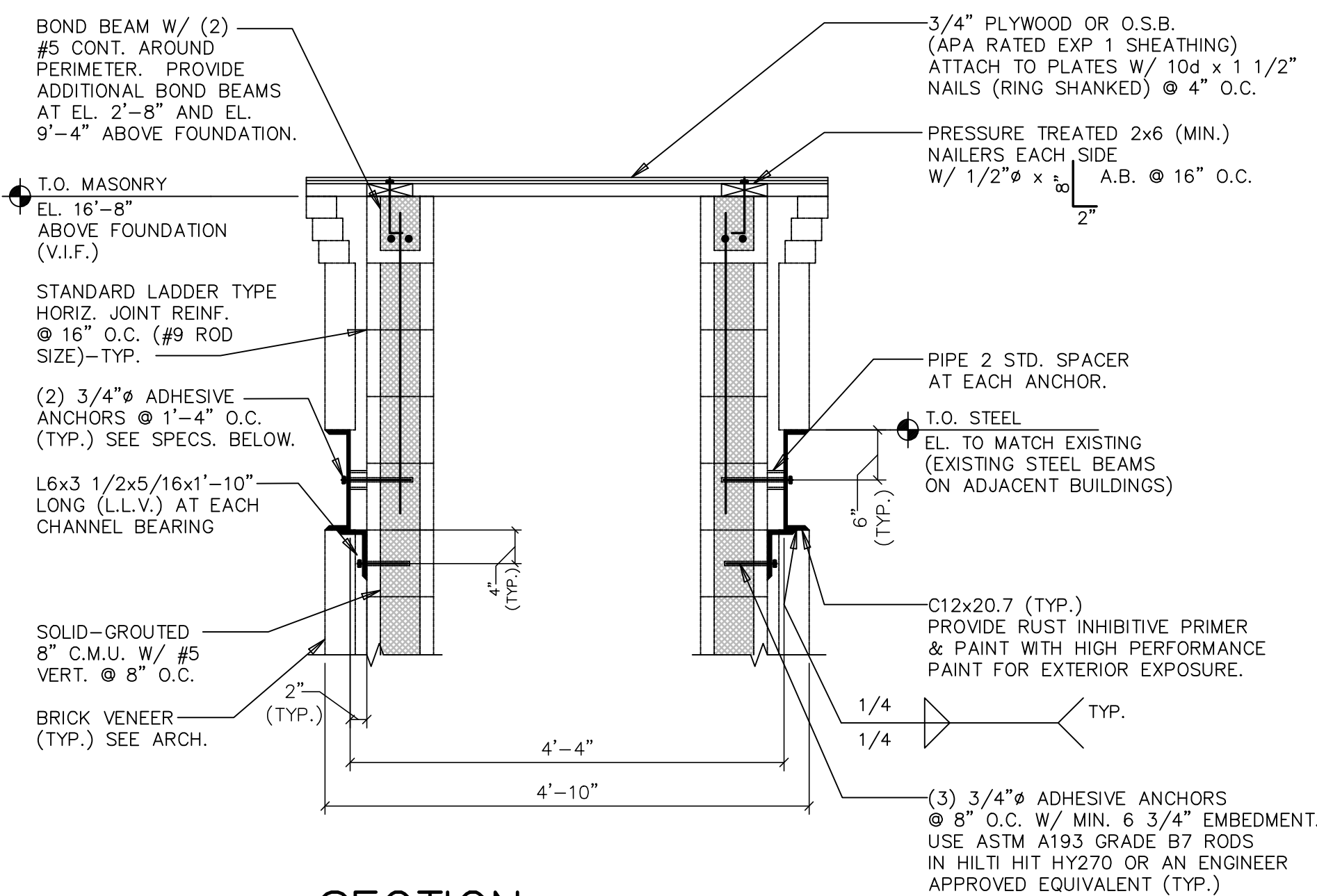
SECTION 1
 1/2"=1'-0"



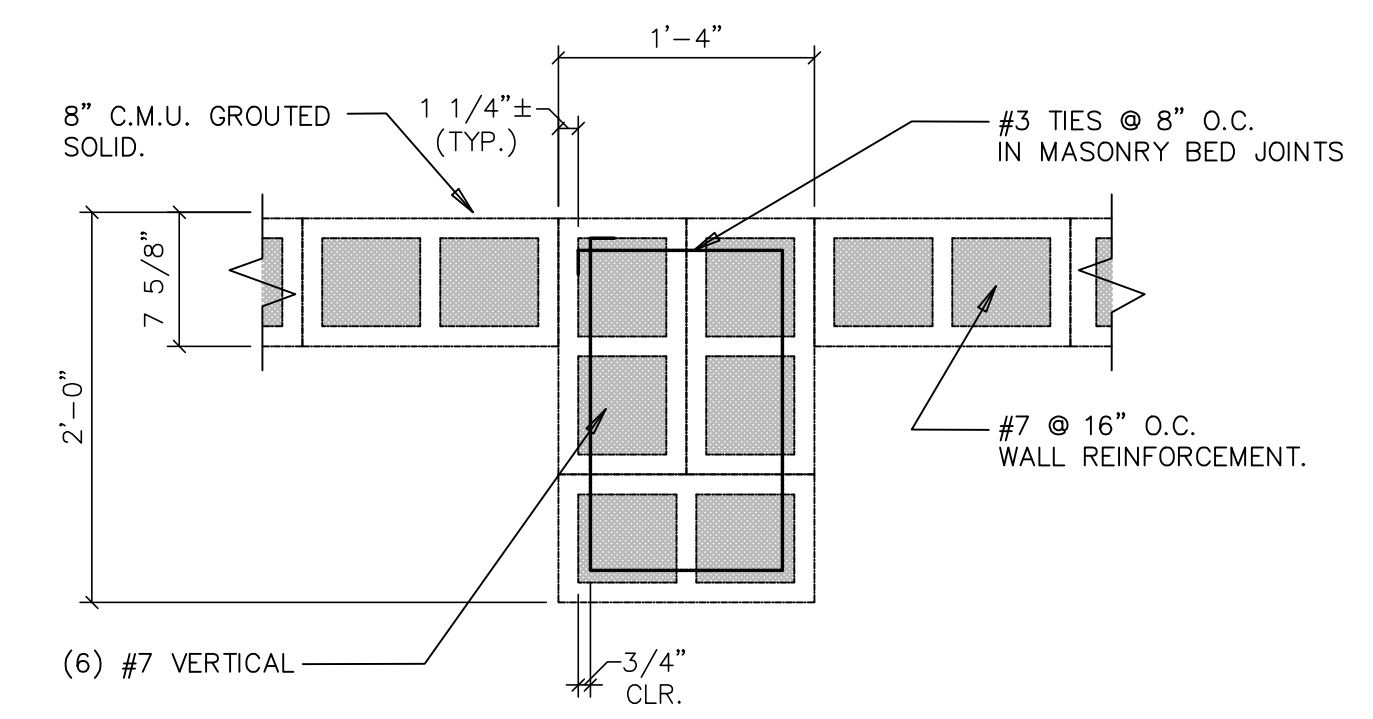
SECTION 2
 1/2"=1'-0"



SECTION 3
 1/2"=1'-0"



SECTION 4
 3/4"=1'-0"



SECTION A
 1"=1'-0"

Lindauer-Dunn, Inc.
 STRUCTURAL ENGINEERS
 802 Rood Avenue
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WEST LEGACY PARK 327 MAIN STREET

BID ALTERNATE 1

SOUTH MASONRY WALL SURFACE TREATMENT

Description

General- This work consists of providing a wall surface treatment for the south wall of the project park along the south side of the Lot 7 at an approximate starting point at the southeast corner of the lot and extending approximately westward for a distance of approximately 60 feet. The vertical limits are defined by the top of the existing wall at approximately 21 feet. The bid area is 1250 square feet.

The construction limits of the wall surface treatment shall be discussed with the Contractor and Owner in the preconstruction meeting.

The Contractor shall provide wall surface treatment, materials and labor. The contractor shall include pre-brush cleaning of the wall, replacing failed bricks as needed, spray with surface bonder, apply Portland based trowel coating, also with concrete bonder/anti-hydro for increased surface tension and to limit moisture uptake. Also pour drip ledge along base of wall.

Material

Concrete Bonding Adhesive shall meet or exceed the following:

- ASTM C1059 Standard Specification for Latex Agents for Bonding Fresh to Hardened Concrete
- ASTM C1583 Standard Test Method for Tensile Strength of Concrete Surfaces and the Bond Strength or Tensile Strength of Concrete Repair and Overlay Materials by Direct Tension (Pull-off Method)

Masonry Cement Type N and S shall meet or exceed the following:

- ASTM C91, Standard Specification for Masonry Cements
- ASTM C144, Standard Specification for Aggregates for Masonry Mortar
- ASTM C270, Standard Specification for Mortar for Unit Masonry
- ASTM C780, Standard Test Method for Preconstruction and Construction Evaluation of Mortar for Plain and Reinforced Unit Masonry

Submittals

The following documents and shop drawings shall be submitted to the Owner per the City of Delta's submittal requirements. Wall surface treatment shall not be undertaken or placed upon the project prior to approval by the Owner.

- (a) Cleaning and application of wall surface treatment method - The cleaning and application of wall surface treatment method shall indicate the process and materials to be used in each step and shall include any drawings, notes describing equipment, procedures, sequencing and safety measures to be used in completing the work.
- (b) Quality Control Plan – The quality control plan shall outline measures to be taken to ensure a quality product and shall include:
 - Method for determining cleanliness of the wall
 - Method for determination and replacement of loose masonry
 - Determining thickness of the mortar
 - Identifying strength of materials
 - Identifying and ensuring a consistent surface finish
 - Cold and Hot weather placement procedures
- (c) Application – The contractor shall provide to the Owner for approval a test panel of the concrete surface treatment and finish style.
- (d) Mix Design – A concrete surfacing mix design for type N or S mortar meeting the manufacturers requirements.
 - Type N – For wall surfacing coat
 - i. Minimum compressive strength 750 psi
 - Type S – For masonry unit replacement
 - i. Minimum compressive strength 1800 psi
- (e) Shop drawing of the application area - The contractor shall submit a shop drawing depicting the area (limits) of the wall surface treatment area as discussed in the preconstruction meeting. The shop drawing shall indicate all pertinent dimensions, proposed area quantity, location of drip edge and location of masonry to be replaced.

Construction Requirements

General- The wall surface treatment procedure shall be applied at the locations and to an approximate 1/4 inch thickness or in multiple 1/4 inch layers as necessary to create a smooth and uniform finish. The uniform finish of the wall shall not deviate in irregularities, humps, discontinuities exceeding 3/8 inch in relief for 10 feet in any direction.

Acceptable wall finish shall consist of a uniform mixture without inclusions, segregation, or weakness of the bond between the existing masonry wall and surface treatment. Mortar wall surface treatment that exhibits movements or settlement after placement shall be repaired or replaced at the Contractors expense. Applications deemed by the Owner to be unacceptable or not in conformance with the accepted submittals shall also be repaired or replaced at the Contractors expense.

The work shall not proceed until the proposed plan and methods have been reviewed and approved by the Owner.

Dirt and loose debris shall be brushed cleaned from existing wall and loose masonry replaced prior to the application of the wall surface treatment. Wall surface treatment includes application

of the bonding agent and other methods used to develop a solid bond between the existing masonry and mortar.

If multiple layers of the surface treatment are necessary to create a smooth and uniform finish the existing mortar surface shall be cleaned, and a bonding agent applied such that the additional layers adhere to each other.

Curing – Curing of the mortar wall finish is required between subsequent layers of mortar. Curing time shall be per the manufacturer's requirements.

Acceptance –

- (a) Test Panel – The test panel shall be approximately 24 inches x 24 inches and shall be completed in the presence of the Owner. The test panel shall include and incorporate all methods, materials, and equipment outlined in the wall surface treatment method. The cost of the Test Panel shall be at the Contractors expense. The Owner may request multiple test panels to evaluate and select a final wall finish.
- (b) Field Compressive Strength – The field compressive strength shall be completed for each mix design (N&S) per 1000 square feet. The compressive strength shall be determined in accordance with ASTM C109.
- (c) Smooth and Uniform Finish – The Contractor in conjunction with the Contractor shall review the overall smoothness and uniform finish over the initial 100 square feet. The smoothness and uniform finish shall match the test panel and smoothness requirements. Initial areas not meeting the Owners requirements or specifications shall be removed and the area refinished. The cost of removal and refinish of the initial 100 square feet shall be at the expense of the Contractor. Upon acceptance of the initial 100 square feet of wall finish and accepted application procedure and method the Contractor and Owner shall determine the rate of application and acceptance.
- (d) Areas of the wall finish not meeting the requirements of the specifications or the aforementioned criteria or other reasonable objection by the Owner is cause for a Noted Deficiency. Areas deemed by the Owner as a Noted Deficiency shall be removed and replaced at the Contractors expense.

Method of Measurements

The wall surface treatment will be measured by the actual number of square feet applied and accepted. The quantity will be determined by the Owner. There will be no increase in pay if the thickness of the wall surface finish exceeds the 1/4 inch.

Basis of Payment

The accepted quantities will be paid for at the contract unit price per square foot for each of the items listed below that appear on the bid schedule:

<u>Pay Item</u>	<u>Pay Unit</u>
South Masonry Wall Surface Treatment	Square Feet (SF)